

August 2021

Urban Design Brief

Evergreen Estates
9 Kerman Avenue, Grimsby, ON

Prepared by: IBI Group



Introduction

The applicant is proposing to develop a portion of lands on Kerman Avenue in Grimsby Ontario, into a residential development called Evergreen Estates.

The development consists of three (3) detached dwellings and forty-four (44) semi-detached.

IBI Group has prepared this Urban Design Brief to provide contextual design details in response to this initiative.

Table of Contents

1.0 BACKGROUND / EXISTING CONDITIONS & CONTEXT	1	Appendix A	12
1.1 Existing Topography, Vegetation, Built Form	1	Community Context Plan	12
2.0 DESIGN	7	Appendix B	13
2.1 Proposal	7	Location Plan	13
2.2 Analysis and Recommendations	9	Appendix C	14
3.0 CONTRIBUTIONS	11	Existing Conditions - Photos	14
General Urban Design Comments	11	Appendix D	16
		Proposed Site Plan	16
		Appendix E	17
		Vegetation Management Plan	17
		Appendix F	17
		Landscape Plan	17
		Appendix G	18
		Conceptual Elevation (Character Intent)	

1.0 BACKGROUND/ EXISTING CONDITIONS & CONTEXT

1.1 Existing Site Conditions

1.1.1 Existing Topography, Vegetation, Built Form

The existing parcel of land is roughly 18,300sq.m in size and is known municipally as lots 9 and 11 Kerman Avenue in the Town of Grimsby, Ontario. In terms of existing built form, there are gable roofed greenhouses and two single detached family homes present on site. In addition, there is a variety of existing vegetation thriving on the site, including deciduous trees, shrubs, grasses, perennials and herbaceous understory plants. Buffer planting is situated between the site and the schoolyard to the north of the subject lands.

The existing house on 11 Kerman Avenue is Tudor style, rich in character and rests on a large lot, set back far from the street. Due to the large frontage, there is an abundance of greenspace and large canopy trees, contributing to the overall character of the streetscape.

In terms of vehicular circulation, the site contains a linear driveway from Kerman Avenue towards the west of the property, where an asphalt parking lot and loading area remains. 11 Kerman Avenue has a long 'U' shaped paved driveway. In addition, there is a service lane from Main Street West providing access to the existing property.

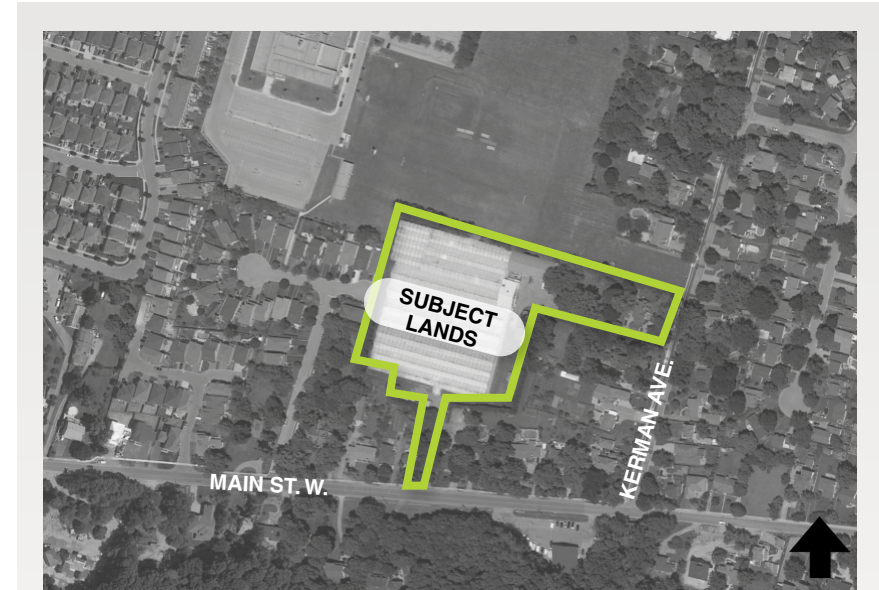


Figure 1 Map of Existing Site Conditions (Google Earth 2021)



Figure 2 View of Subject Lands, 11 Kerman Ave (Google Earth 2021)

1.2 Site Context

1.2.1 Community Context

According to the Town of Grimsby's Official Plan Land Use Map, the site is located within the urban boundary in a stable low-density residential area (Town of Grimsby's Official Plan, Schedule B-1). In addition there are mid-density and high density residential uses nearby (Figure 3).

1.2.2 Neighbourhood Context

The subject lands are located near multiple residential communities. The neighbourhoods mostly contain detached homes with some multi-residential options available. The homes range between 1-2 storeys and their styles vary between 20th century houses to modern builds. In terms of neighbourhood amenities, there are an abundance nearby, including parks, school yards and trails (Refer to Appendix A - Community Context Plan). In addition there are some examples of mid-density and high density residential uses within the area (Figure 3).

1.2.3 Streetscape Context

In the Grimsby Official Plan, Kerman Avenue is designated as a Collector Road, while Main Street West is classified as a Regional Arterial Road with bike lanes. (Town of Grimsby's Official Plan, Schedule C). Both roads contain two vehicular lanes of traffic with a paved pedestrian sidewalk on one side. In terms of built form, both roads include detached single family homes on large lawns set back from the street. Surrounding the subject lands, the tree canopy is mature with a wide variety of deciduous and coniferous plants, contributing to the overall streetscape character.

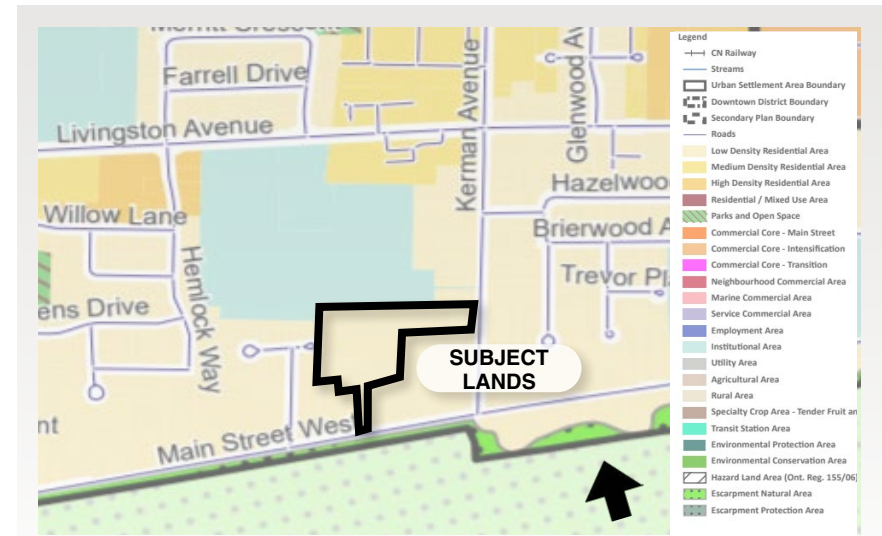


Figure 3 GOP - Land Use Map (Schedule B-1)

1.2.4 Site Context

The subject lands are flanked by a variety of land uses including institutional, parks and open space, environmental conservation areas and escarpment natural areas.

A noteworthy characteristic is the close proximity to the escarpment and the Beamer Memorial Conservation Area. In addition, the development is near three designated heritage properties: 21, 25 and 31 Kerman Avenue.

1.3 Policies and Guidelines

The following section highlights key and relevant principles within the guiding Town's documents and points out their influence on how the subject lands should be developed. These principles are outlined in various respects throughout the Town of Grimsby's Zoning By-Laws (ZBLA), and the Town's Official Plan (OP) and are highlighted below as appropriate.

Town of Grimsby's Zoning By-Law (ZBLA)

7.0 Residential Zones (Permitted Uses)

The zoning descriptions for 11 and 10 Kerman Avenue are Residential Detached 1 (RD1) and Neighbourhood Development (ND). According to Grimsby's Zoning By-Law, these classifications currently do not permit semi-detaching dwellings (Figure 4).

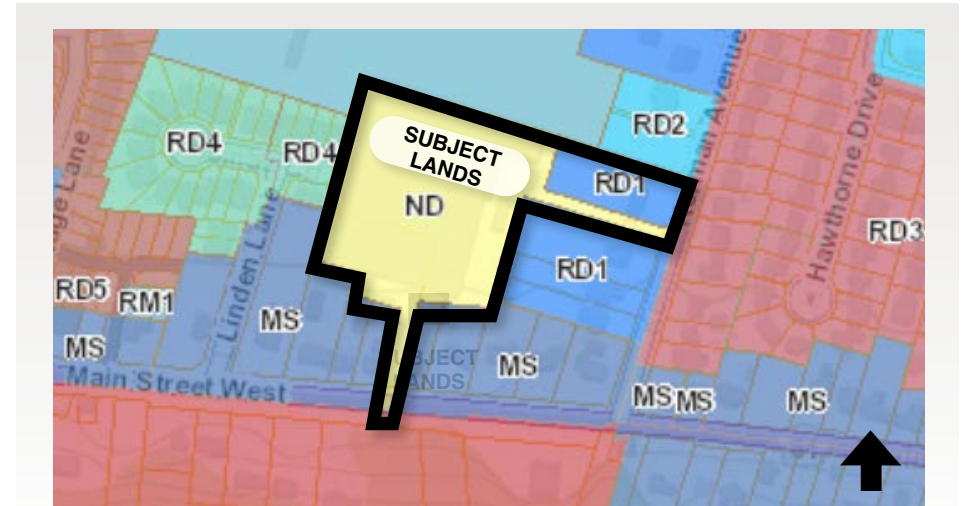


Figure 4 Grimsby Zoning Map

12.3 Site Specific Exceptions

Other properties on Kerman Avenue have had site specific exceptions that have changed private and public open space to townhouse developments (Figure 5)

Town of Grimsby Official Plan (GOP)

The Town of Grimsby's Official Plan is a comprehensive framework of goals and objectives, land use designations and policies which will guide the future development of the Town. For the purposes of this Urban Design Brief report, emphasis is placed on Chapter 3 - Land Use and Chapter 7 - Streetscape Design Policies.

Table 27: Permitted Use, Lot, Building and Structure Exceptions

Site Specific	By-law #	Address	Zone	Additional Permitted Uses	Sole Permitted Uses	Excluded Uses	Lot, Building and Structure Exceptions
13	81-34		O1		Accessory residential use Existing Indoor and Outdoor Recreation Facility Trail		
49	88-29	Kerman Avenue Townhouses	O1				Minimum height of noise attenuating berm and fence abutting CNR: 4.5 m with minimum berm height of 2 m. Required parking: 1.8 spaces per dwelling unit
49	88-29	Kerman Avenue Townhouses	O2				Minimum height of noise attenuating berm and fence abutting CNR: 4.5 m with minimum berm height of 2 m. Required parking: 1.8 spaces per dwelling unit
57	88-129	Fifty Point Conservation Area	O2				Campsite setback: 15 m. of a lot line or 73 m. of the boundary of a Residential zone. Landscaping area to be provided adjacent to every portion of any lot line. A fence shall be installed along any lot line which is adjacent to a Residential zone.

Figure 5 Table 27, Town of Grimsby's Zoning By-Law

3.4.2 Low Density Residential Area

a) Within the Low Density Residential Area, permitted uses shall include: Single detached dwellings, semi-detached dwellings, linked semi-detached dwellings, secondary suites and duplexes;

The proposal conforms to these guidelines as it includes three (3) detached dwellings and forty-four (44) semi-detached housing units.

3.4.2.2 Low density residential building forms shall not exceed a height of 2.5 storeys.

The proposal complies to these guidelines as the buildings are 2.5 storeys with a maximum height of 9m.

3.4.2.3 All Low Density Residential development shall be compatible with adjacent properties and shall respect the character and image of the neighbourhood.

The development's intended materiality and architectural articulation integrates well within the existing traditional character of the neighbourhood. The use of hip roofs and dormers as well as common materials including brick and stone provide a high quality aesthetic with materials that reflect the character of the area.



Figure 7 GOP - Transportation, Schedule C

3.4.7.2 General Built Form

a) New development shall be compatible with adjacent and neighbouring built form by ensuring that the siting and massing of new buildings does not result in undue adverse impacts on adjacent properties particularly in regard to adequate privacy conditions for residential buildings and their outdoor amenity areas.

The design limits impacts on adjacent properties by providing and preserving adequate vegetated buffering and privacy fencing. The preservation of existing vegetation along the

northern property line will also function to partially shield the school yard from the proposed development.

d) Access from sidewalks and public open space areas to primary building entrances shall be convenient and direct, with minimum changes in grade.

As the site plan progresses, adherence to AODA guidelines is of primary importance. Pedestrian pathways should be appropriately sloped and sized to ensure universal accessibility, as well as to provide convenient and direct access to residential units.

3.4.7.4 Compatibility Criteria for Stable Residential Neighbourhoods

b) iii) iv) New dwellings within stable residential neighbourhoods shall provide a consistent relationship with existing adjacent housing forms and the arrangement of these existing houses on their lot. As such, new dwellings shall maintain the predominant or average front yard setback for adjacent housing to preserve the streetscape edge, and character; as well as provide for similar side yard setbacks

The detached units on Kerman Avenue are setback 10m from the street with a minimum side yard of 1.2m. Although this is less than the adjacent lots that are setback approximately 15-20m, similar setback precedents can be found elsewhere along Kerman Avenue. Specifically houses on the east of the road, 16, 18, and 20 Kerman Avenue. Within the site's interior, setbacks of the semi-detached units are similar to those found along Sumac Court.



Figure 8 *GOR, Natural Features, Appendix 2*

v) Provide a built form that reflects the variety of façade details and materials of adjacent housing, such as porches, windows, cornices and other details;

The built form of Evergreen Estates includes a variety of architectural materials, elements and details that can be found throughout the neighbourhood. Porches, cornices, hip roofs and dormers are all traditional architectural elements that are common to the area. The design is modernized through its inclusion of wood accents and grey/blue colour palette but uses familiar facade materials of stucco, stone and brick (Refer to

Appendix B - Existing Conditions Photos).

e) iii) Create a street and block pattern, which serves as a seamless extension of the surrounding neighbourhoods by providing an interconnected block structure and the extension of the existing local road network.

An extension of the Sumac Court Cul-de-Sac extends the local road network and connects the existing adjacent residential development with the proposed. The street and block patterns as well as the orientation and configuration of the built form are similar to those found throughout the neighbourhood.

3.4.7.6 Development Criteria for all Townhouses and other Ground-Related Multiple Unit Dwellings:

b) The elevation of the townhouse block shall be articulated in a manner that provides variation between units, and reinforces common characteristics that visually unites the block.

The design of the facade of the semi-detached units is cohesive through the use of common materials and colour palette. To create visual interest, variation is provided through the architectural detailing and application of materials, resulting in a an overall design that is visually uniform but with noticeably distinct units (Refer to Appendix G - Elevation).

c) Variety in the design of roofs is required to break up the massing of townhouse blocks.

The incorporation of dormers and hip roofs functions to visually break up the massing of the semi-detached units.

e) Garages should be accessed from a rear lane. Where they are not, garages should be paired to allow for more substantial front yard green space. Garages shall not protrude beyond the main front wall or porch of the dwelling unit.

The garages of the dwellings are situated at the front of the building, but setback from the porch to minimize their appearance from the street. In addition, the driveways of the units are located on the ends to maximize front yard greenspace between them, improving the aesthetic character of the residential development.

7.2 Town Collector Roads

7.2.2 Individual direct access to any development site shall be limited to minimize disruptions to traffic flow, maximize safety, and improve the attractiveness of the road.

Vehicular access to the development is limited to two locations, connecting the site to Kerman Avenue and Sumac Court. The Cul-de-Sac extension functions to slow traffic flow and prioritize pedestrian safety.

7.3 Main Street

7.3.1 Along Main Street outside of the Downtown District, additional streetscape design requirements shall apply as follows:

a) Preserve to the greatest extent, mature vegetation, remnants of agricultural activity and other natural features within the site and along the street edge and at the Escarpment;

The proposal preserves some of the existing vegetation along the edges of the site, specifically the northern property line. This helps to maintain a buffer between the residential development and adjacent institutional uses. Although preserving mature vegetation is a priority of the site due to its close proximity to the Escarpment, in reality some trees will need to be removed for construction to proceed. In addition, the agricultural remnants of the site including the existing greenhouses will need to be demolished (Refer to Appendix E - Vegetation Management Plan).

b) Incorporate areas for pedestrian paths to connect to the existing, informal walking paths and footbridges;

Pedestrian access to Evergreen Estates is provided from three locations, connecting the site to Kerman Avenue, Sumac Court and Main Street West. The path to Main Street West will enable residents easy access to bike routes and the Bruce Trail, promoting an active lifestyle and alternative methods of transportation (Figure 9).

c) Require larger building setbacks to maintain the existing streetscape character

The entire development is setback behind existing residential lots from Main Street West. From the road, a small pedestrian access is the only linkage to the site, seamlessly blending in with the existing context. The two detached dwellings along Kerman Avenue are setback 10m from the street to help maintain the set back conditions and streetscape character.

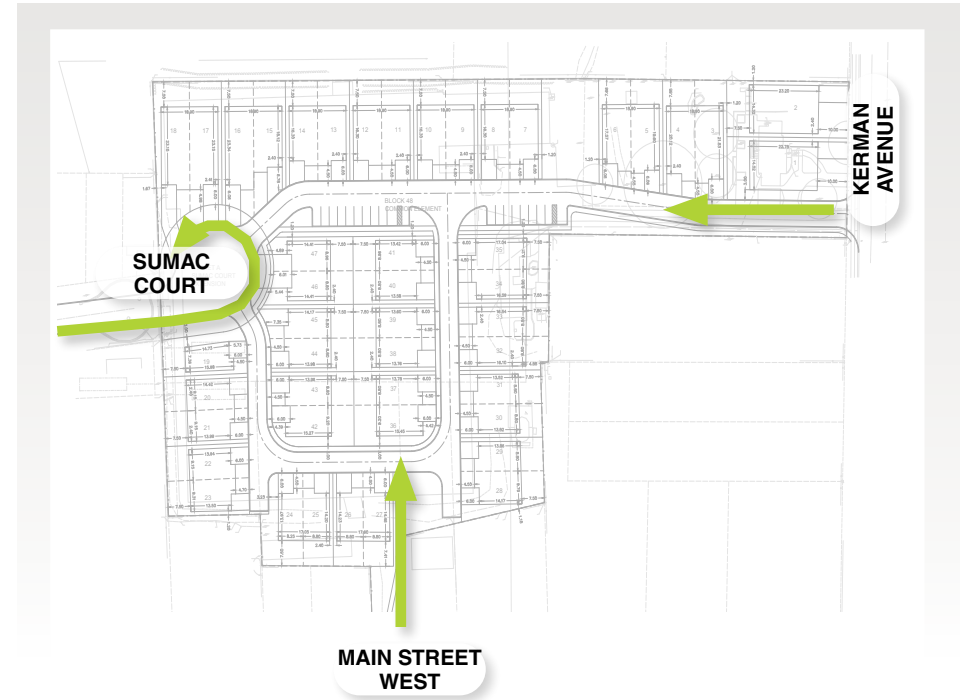


Figure 9 Proposed Site Plan, Access Points

2.0 DESIGN

2.1 Proposal

The Applicant is proposing a residential development that includes two (2) single detached houses situated along Kerman Avenue and one (1) single detached house adjacent to the Sumac Court Cul-de-Sac. An additional forty-four (44) semi-detached units are located within the site's interior for a total of forty-seven (47) residential units.

2.1.1 Site Design (Refer to Appendix C)

The proposed site design is a stark contrast to the existing use of the lands, but provides a complete and thoughtful proposal for a multi-residential redevelopment.

The vehicular access points to the site are provided from Kerman Avenue and the extension of the Cul-de-Sac on Sumac Court (Figure 9). This configuration facilitates convenient and efficient movement throughout the site and minimizes impact on existing traffic conditions. The clearways of the internal drive aisles accommodate fire and emergency vehicle access.

In terms of vehicular parking, each unit will have access to a private driveway, with visitor parking located towards the north of the property. There are 4 spots per unit and 20 spots available for guests, double the required amount.

Pedestrians can access the site from Kerman Avenue, Sumac Court or a passage from Main Street West. This pedestrian connection provides residents with convenient access to the Bruce Trail and local bike routes.

2.1.2 Building Design (Refer to Appendix D)

The semi-detached units are organized into two configurations per block. Despite the fact that the unit types vary in floor plan composition, their structural heights and total floor plan area remain the same, providing a uniform appearance from the street.

The exterior architectural facade provides a traditional character with some modern influences in materiality, colour and articulation. The major exterior building materials are stone, stucco and brick— common residential building materials that are consistent with the surrounding neighborhood character.

2.1.3 Landscape Design (Refer to Appendix F)

The site landscape design helps provide an attractive pedestrian realm. Exterior landscape elements include pedestrian walkways, street trees and vegetation. The hardscape and softscape elements function to contrast and compliment the materials and forms of the buildings. Overall the landscaping design, i.e. the plant palette, furnishings, etc., maintains the same high level quality as is proposed in the built form.

2.1.4 Constraints

The site's close proximity to the Escarpment Conservation and Protection Area can be viewed as both an advantage and a constraint. Consideration for the larger green network should be prioritized through the design by proposing native species that promote biodiversity. Where possible, existing vegetation should

be preserved.

2.2 Analysis and Recommendations

2.2.1 Policy and Guides

The proposal responds well to the relevant guides listed in the Town of Grimsby's Official Plan. It supports many of the main objectives outlined in the plan by increasing the housing options available in the area, reflecting the character of the existing neighbourhood, and minimizing impact to existing residential and natural areas.

As an overarching sentiment, the proposal responds to the combined desire for a development that respects and enhances the character of the area as well as increases housing options by supporting more compact living.

2.2.2 Existing Context

The development fits neatly and efficiently within the existing urban context, beginning to strengthen and define character patterns -the program, form and scale, and aesthetics, etc. The proposal does well to balance contextual compatibility while also achieving an intensified density that is supportive of modern urban living.

2.2.3 Existing Neighbourhood

The architectural designs respond well to other characters on Kerman Avenue and nearby neighbourhoods by 'borrowing' inspiration in materiality and articulation.

For an intensification proposal, the designs do well to limit impact on neighboring properties whereby it can be expected that there won't be any appreciable impacts in the way of shadowing, noise, traffic or odours.

2.2.4 Landscape Design

Low-level accent planting, paving and quality materiality will enhance the pedestrian environment on site and assist in integrating the development within the existing context. A variety of coniferous and deciduous trees are proposed to create canopy cover and privacy, while enhancing the streetscape character of the site's interior. Open lawn areas between and behind residential units will provide residents with shared amenity space for a range of exterior activities. The adjacent school yard to the north of the site has some existing vegetation that is preserved to provide landscape buffering. This will aid in reducing noise and provide a visual barrier between the two land uses. Due to its close proximity to the Escarpment, the species of the site were selected strategically to contribute to the biodiversity of the nearby natural areas.

2.2.5 Professional Recommendations

The proposed development, Evergreen Estates, is consistent with key and relevant guides, namely the Town of Grimsby's Official Plan. It provides a modernized design and approach toward living in a manner that is still reflective of the neighborhood character.

Based on review of the relevant policy and guides and analysis of the contextual setting, it is our professional opinion that the proposal provides a suitable development option which makes use of underutilized lands in a developing area. Through its planning, materiality, and design, the development will increase neighbourhood density, while remaining respectful of the existing surrounding community.

While transitions in scale from nearby residential buildings and impacts on adjacent properties are acceptable, any enhancements made to the natural heritage in the area would be desirable, as it is expected that the existing vegetation will be negatively affected. Native species should be chosen strategically due to the site's close proximity to the Escarpment Conservation and Protection Area.

3.0 CONTRIBUTIONS

General Urban Design Comments

Many of the key characteristics of the proposal are shown to have been designed with respect to adjacent built forms and spaces within the neighborhood context. Moreover, the building setbacks and height, the exterior material palette and site arrangements are in keeping with key guideline policies for the area. Therefore the design positively contributes to the community.

Height and scale respectful and compatible with nearby patterns

Hip roof provides a traditional residential character that is consistent with the surrounding neighbourhood

High quality material palette of stone, wood, and stucco. The material/colour variation changes add visual interest and breaks up the overall building massing

Consistent wood accents provide warmth and a rural character to the facade.

Native flora species enhance the surrounding streetscape character, provide shade and contribute to nearby existing natural heritage areas

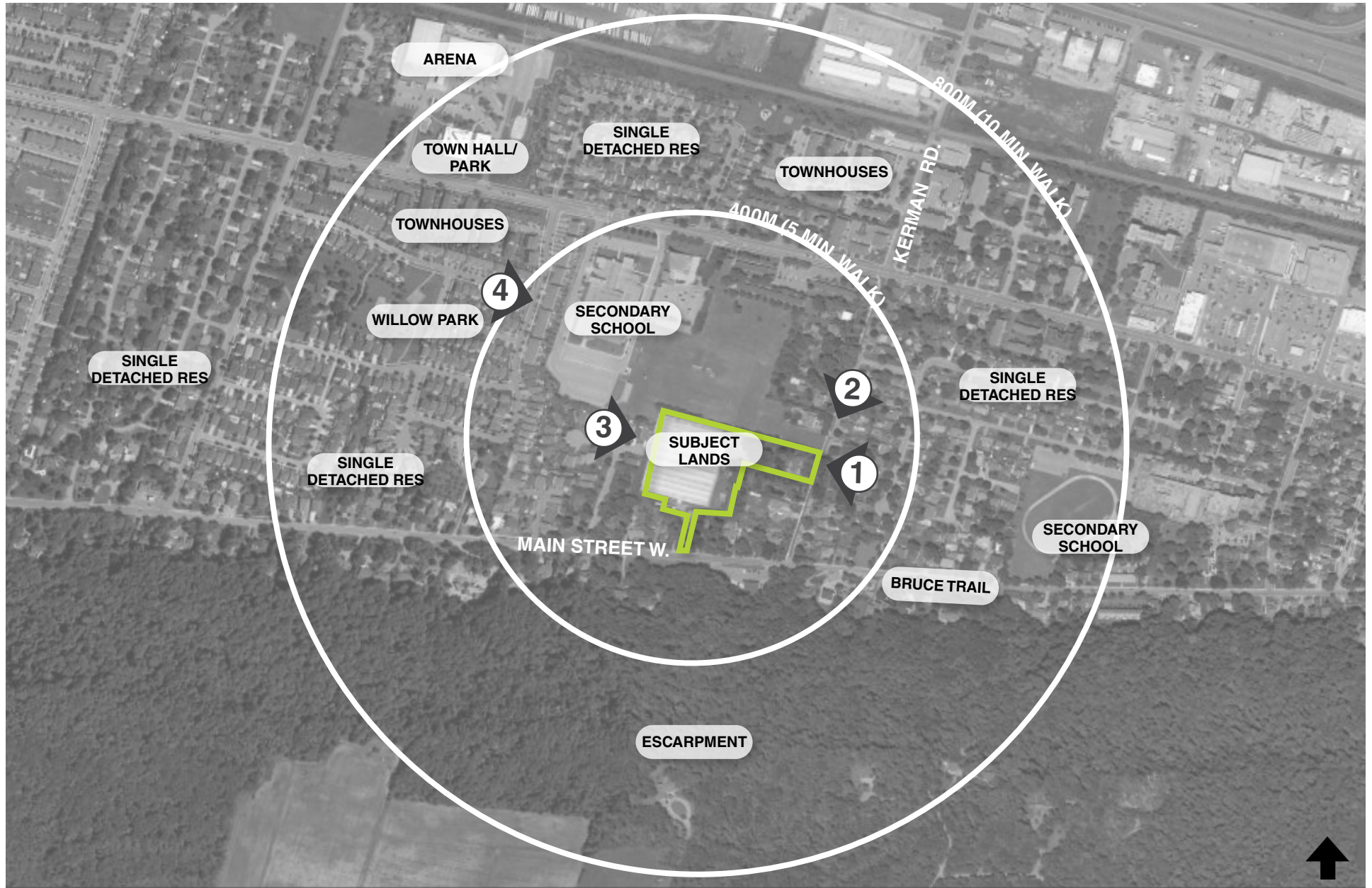
Porches with canopies visually distinguish the entrances of the units and provide depth and activity to the facade



Figure 10 Building Design Analysis

Appendix A

Community Context Plan



Appendix B

Existing Conditions - Photos



1 - VIEW OF EXISTING SUBJECT LANDS, 11 KERMAN AVE.



2 - VIEW OF KERMAN AVE , LOOKING SOUTH TOWARDS THE ESCARPMENT

Existing Conditions - Photos Continued



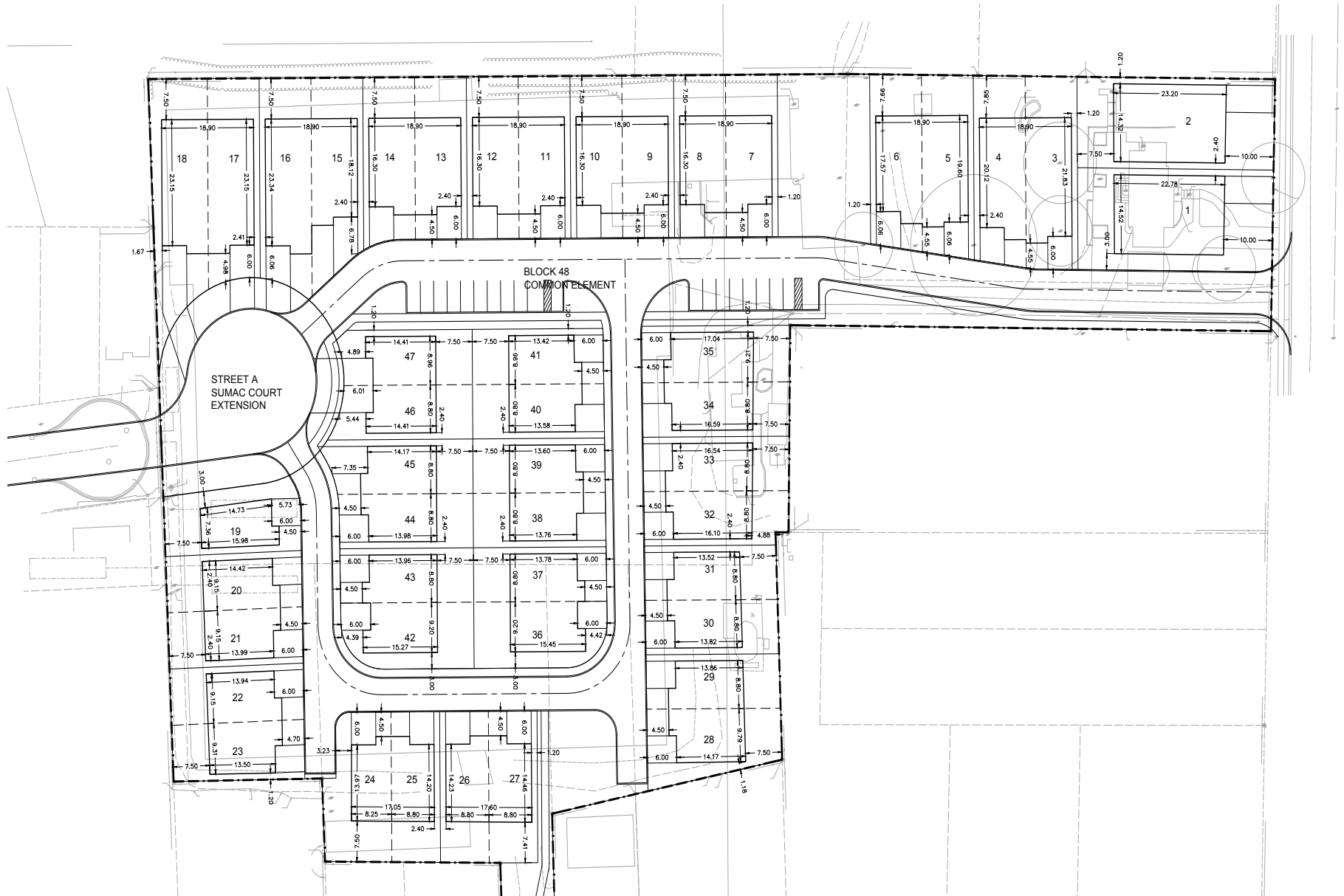
3 - VIEW OF SUBJECT LANDS FROM SUMAC COURT



4 - NEARBY TOWNHOUSES, 43 HEMLOCK WAY

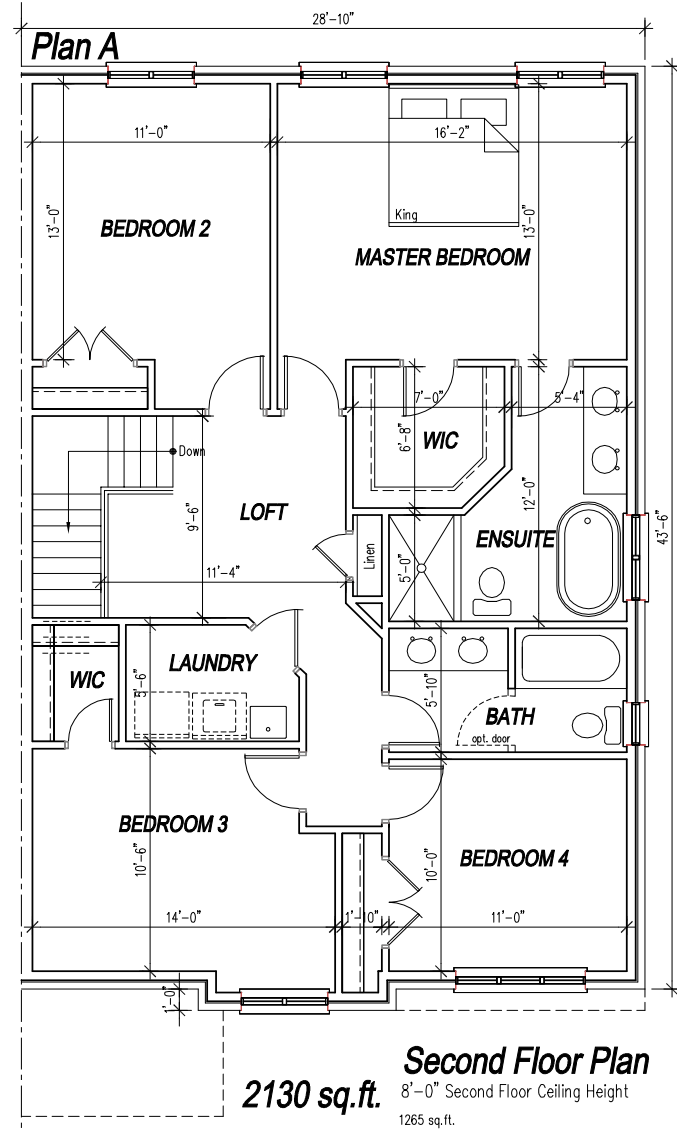
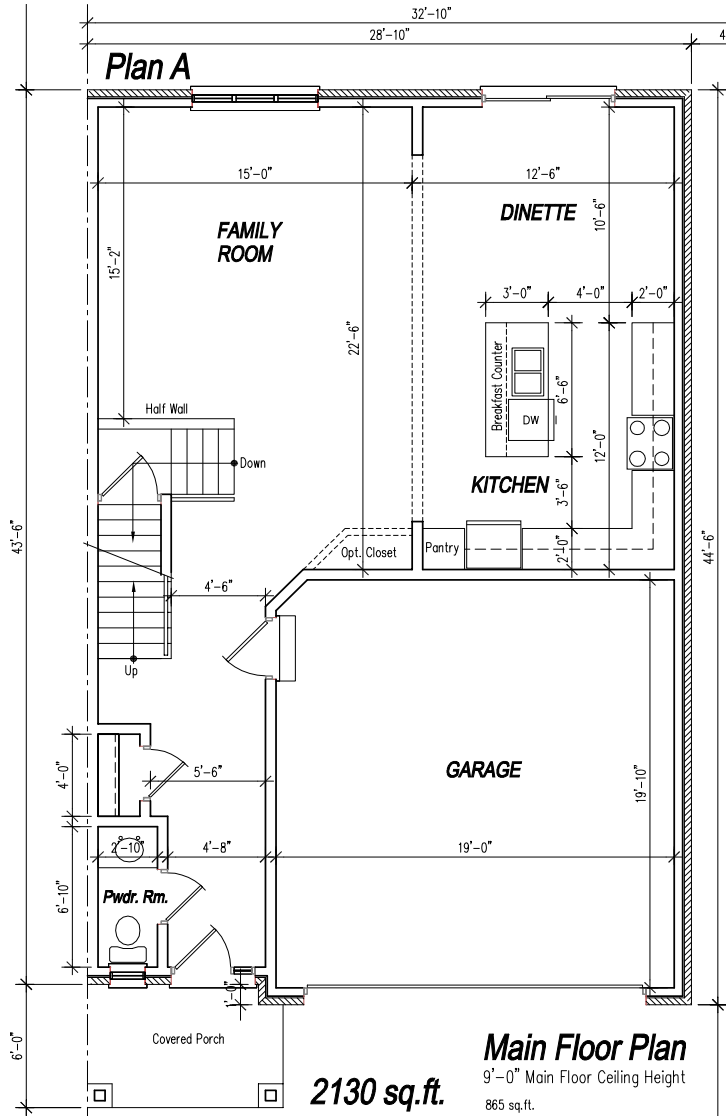
Appendix C

Proposed Site Plan



Appendix D

Floor Plan A

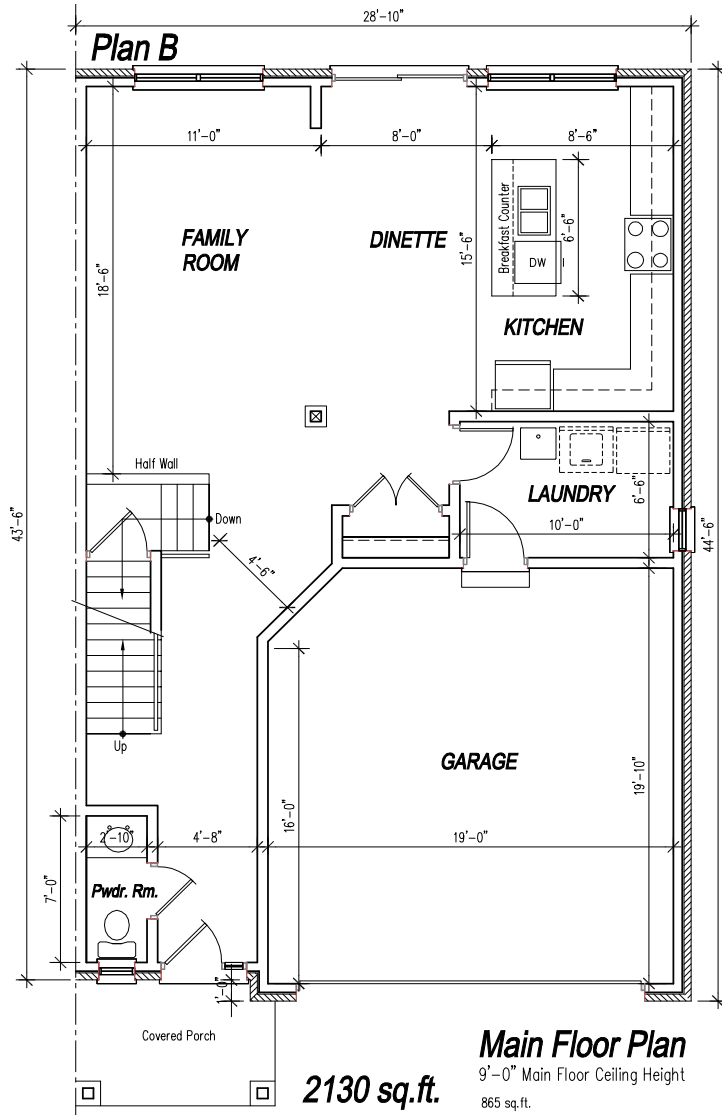


GROUND FLOOR PLAN

SECOND FLOOR PLAN

Appendix D

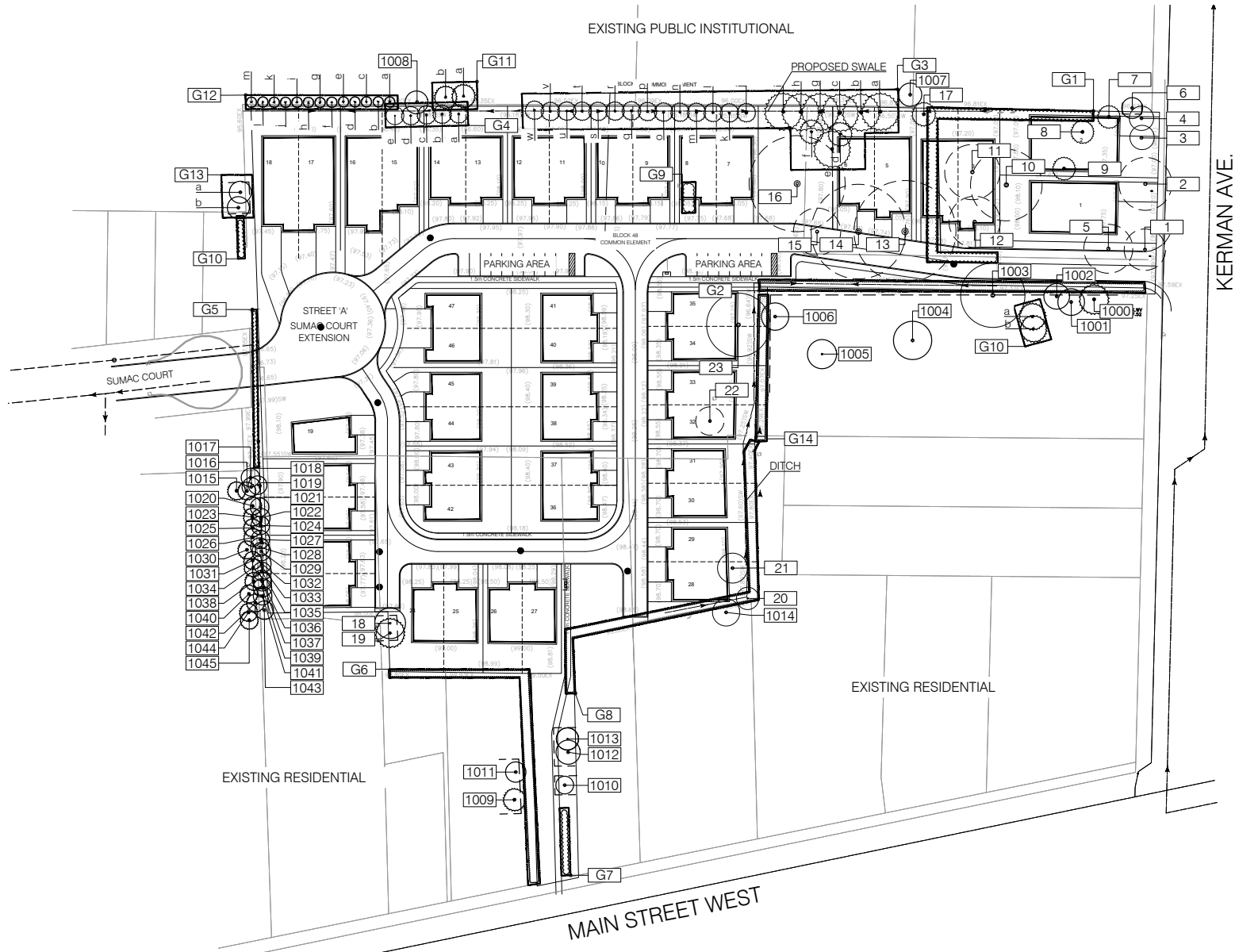
Floor Plan B



GROUND FLOOR PLAN

Appendix E

Vegetation Management Plan



Appendix G

Conceptual Elevation (Character Intent)



1- FRONT ELEVATION, SEMI-DETACHED DWELLING