

A small housing addition will usually require the submission of the following drawings. All drawings must be accurately drawn to scale, in ink. If the drawings are prepared by someone other than the owner, the designer must have the qualifications specified in the building code.

SITE PLAN

A SITE PLAN is a drawing showing the complete property and identifying all structures in relation to the property boundaries. A property survey is commonly used as a template for developing the site plan. The site plan should include:

- Scale
- North arrow
- Street location & name
- Lot lines & dimensions to all buildings
- Existing & proposed buildings
- Proposed changes to existing grade

FLOOR PLANS

A FLOOR PLAN is a drawing of the structure as seen as if it is cut horizontally a few feet above the floor line. One floor plan is required for every floor of the house which is affected by the new construction. Each plan shows the interior layout of the level in question as well as providing the structural framing information for the floor or roof above. Floor plans should include:

- Scale
- Use of rooms & spaces (label)
- Dimensions
- Extent of new construction including new work within existing building
- Size, type and location of exterior and interior walls and partitions
- Widths, locations and lintel sizes of all openings
- Location, dimensions and direction of stairs
- References to detailed drawings
- Material specifications or notes
- Heating and ventilation details
- Location of smoke alarms and carbon monoxide detectors

ELEVATIONS

ELEVATIONS show the exterior view of each side of the house. Each elevation is identified by the direction it is facing, and should include:

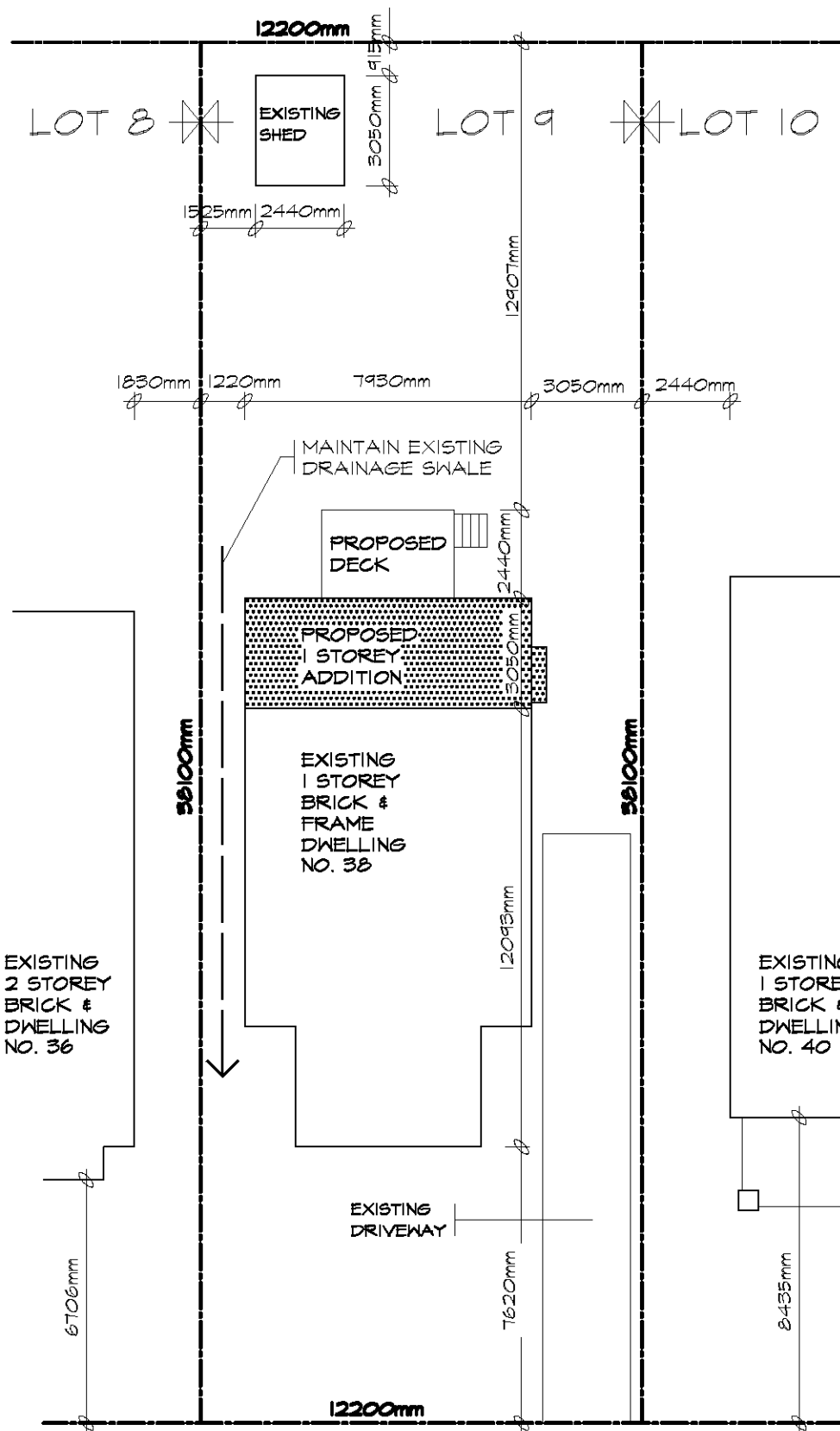
- Scale
- Extent of new & existing construction
- Dimensions of walls, windows & doors
- Grade level
- Exterior wall cladding, finishes & flashing
- Overhang dimensions
- Roof shape, slope & finish
- Rain water leader & eavestraugh

SECTIONS and DETAILS

A SECTION represents a view of the house along an imaginary line at a particular location, & illustrates construction details. The extent of the section should correspond with the sectional arrow shown on the plans. Sections should indicate the following:

- Scale
- Details of footings, foundations, walls, floors & the roof
- Distance from grade to floor & underside of footing
- Attic & crawl space ventilation

Some aspects of the project may require some specific details, such as engineered roof truss drawings. An inventory of standard construction details is available from your local municipal office, which can be used to augment your plans.



SITE PLAN

SCALE 1:200

SKETCH OF SURVEY OF
LOT 9
REG'D PLAN 4220
CITY OF TORONTO
B.C. TRANSIT. O.L.S.
DECEMBER 31ST, 1999

KHALMUR CRESCENT

ZONING	LOT NO:		PLAN NO:		LOT AREA		LOT FRONTAGE		LOT DEPTH	
R2 Z0.6	LOT 9		4220		580.64m ²		12200mm		38110mm	
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED	
LOT COVERAGE	86.52m ²	24.15m ²	110.65m ²	19.0	-----		FRONT YARD	7620mm	7620mm	
GROSS FLOOR AREA	86.52m ²	24.15m ²	110.65m ²	19.0	348.39m ²	60.0	REAR YARD	18390mm	12907mm	
LANDSCAPED AREA	-----	-----	-----		-----		INTERIOR SIDE (east)	3050mm	3050mm	
NO. OF STORIES HEIGHT	1 STOREY 4550mm	1 STOREY 4550mm	1 STOREY 4550mm		10000mm		INTERIOR SIDE (west)	1220mm	1220mm	
WIDTH	7930mm	7930mm	7930mm		-----		EXTERIOR	-----	-----	
DEPTH	12093mm	3050mm	15143mm		17000mm					
PARKING	-----	-----	-----		-----					

NOTE: ZONING RESTRICTIONS VARY IN EVERY MUNICIPALITY. CONTACT YOUR LOCAL MUNICIPAL OFFICE FOR SPECIFIC SETBACKS AND OTHER LIMITATIONS IN YOUR AREA.

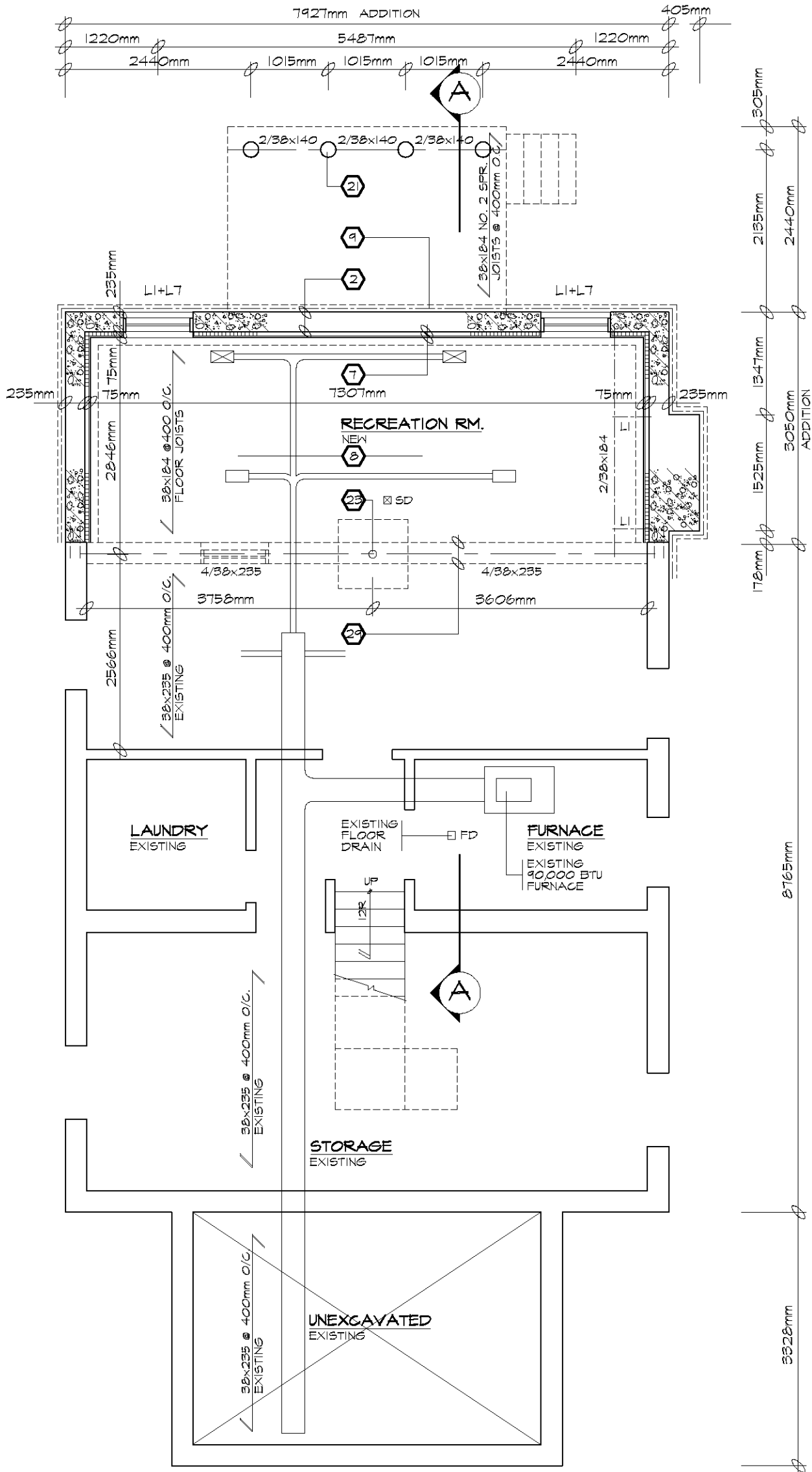
TACBOC
STANDARD DETAIL

TITLE
SAMPLE DRAWING
SITE PLAN

DWG. NO.

A03a

2007



BASEMENT PLAN

SCALE 1:50

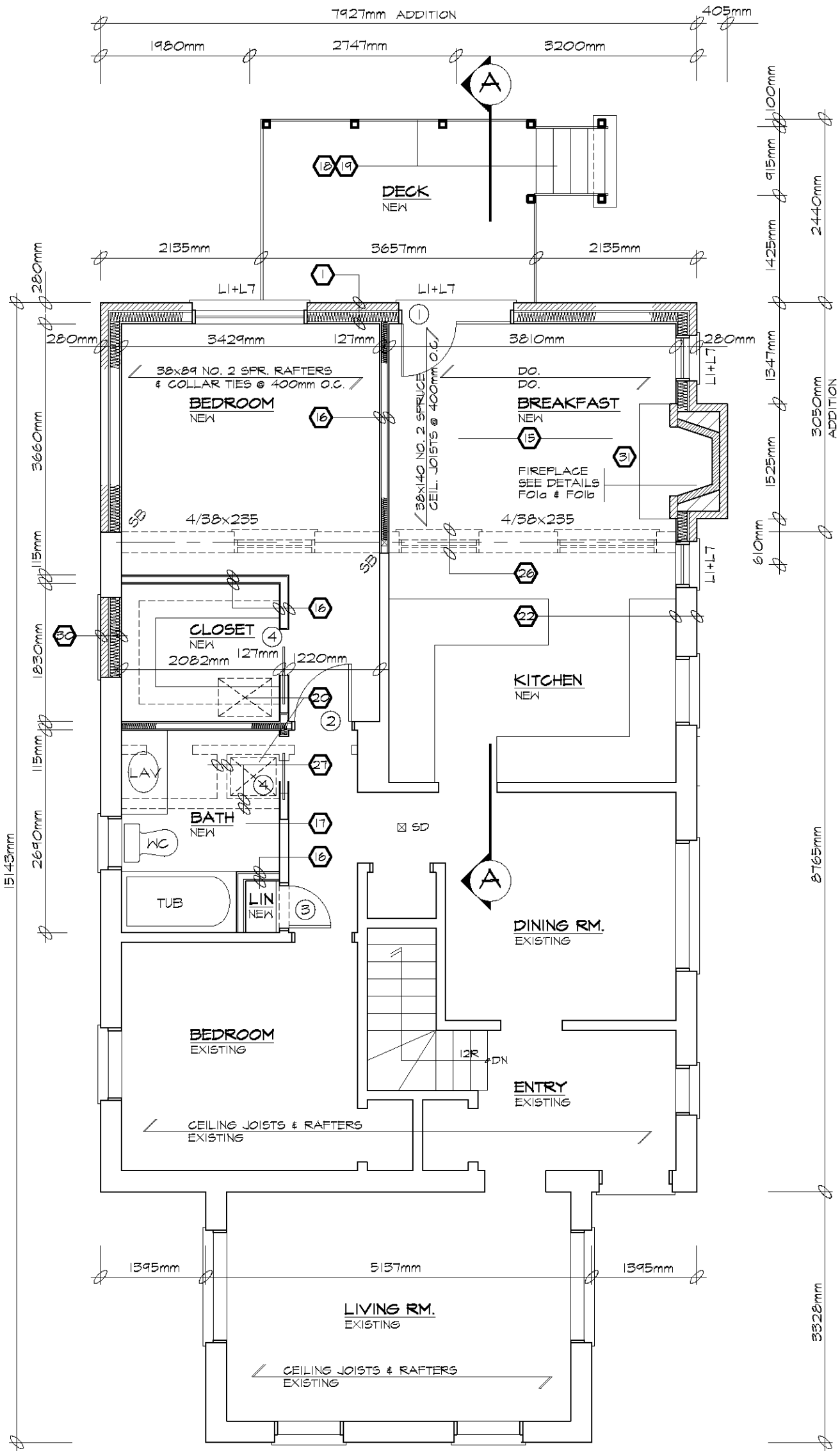
TACBOC
STANDARD DETAIL

TITLE
SAMPLE DRAWING
BASEMENT PLAN

DWG. NO.

A03b

2007



GROUND FLOOR PLAN

SCALE 1:50

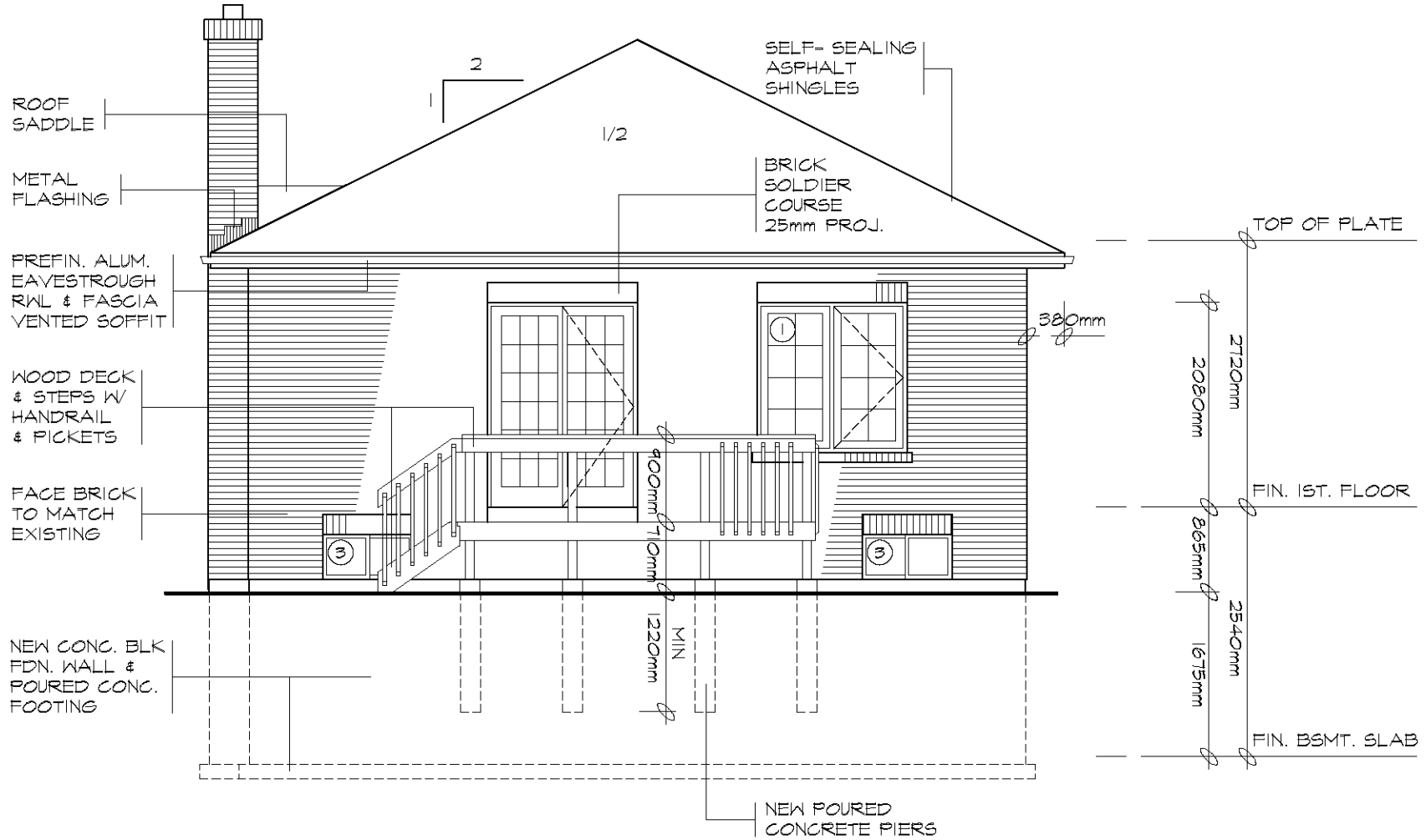
TACBOC
STANDARD DETAIL

TITLE
SAMPLE DRAWING
GROUND FLOOR PLAN

DWG. NO.

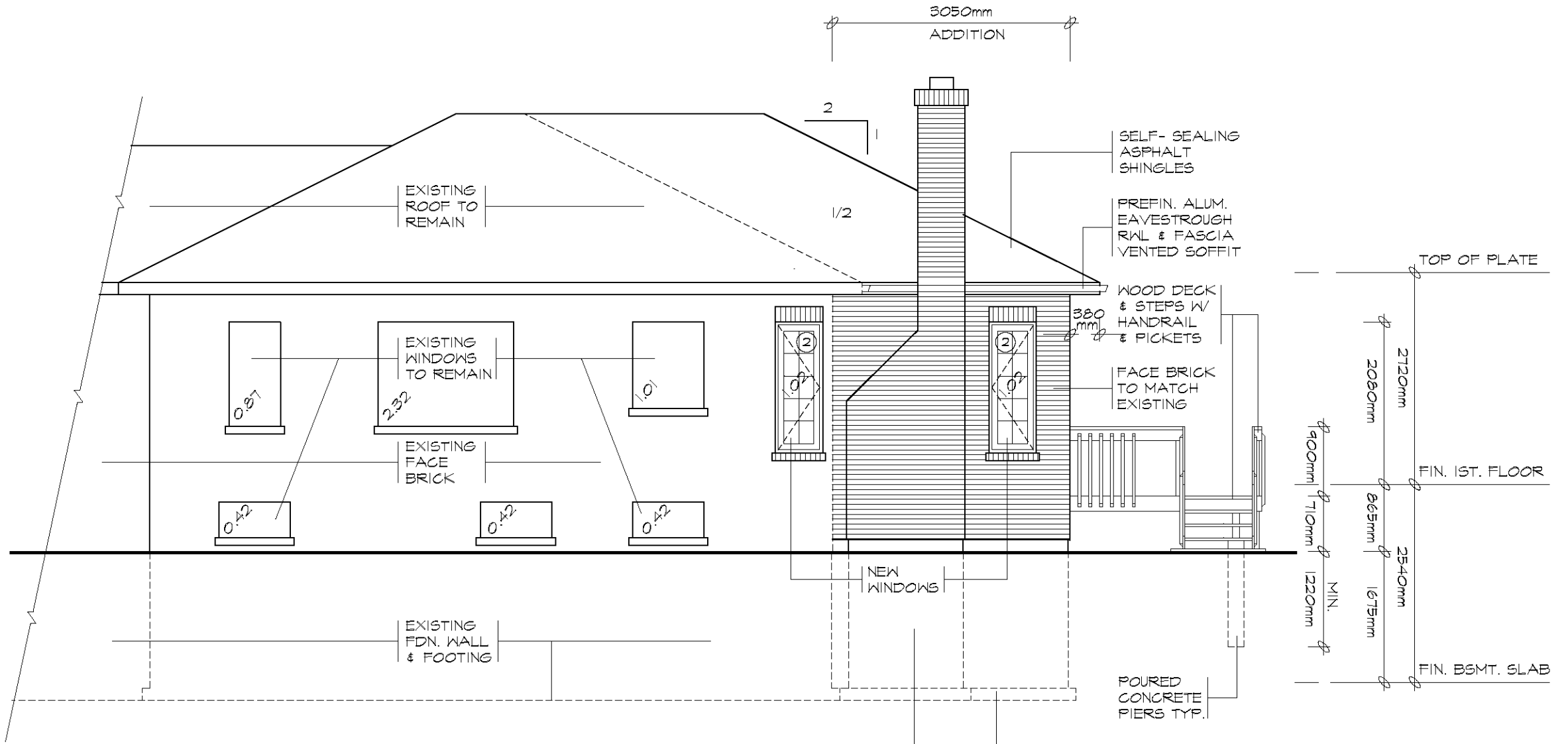
A03c

2007



NORTH ELEVATION

SCALE 1:50

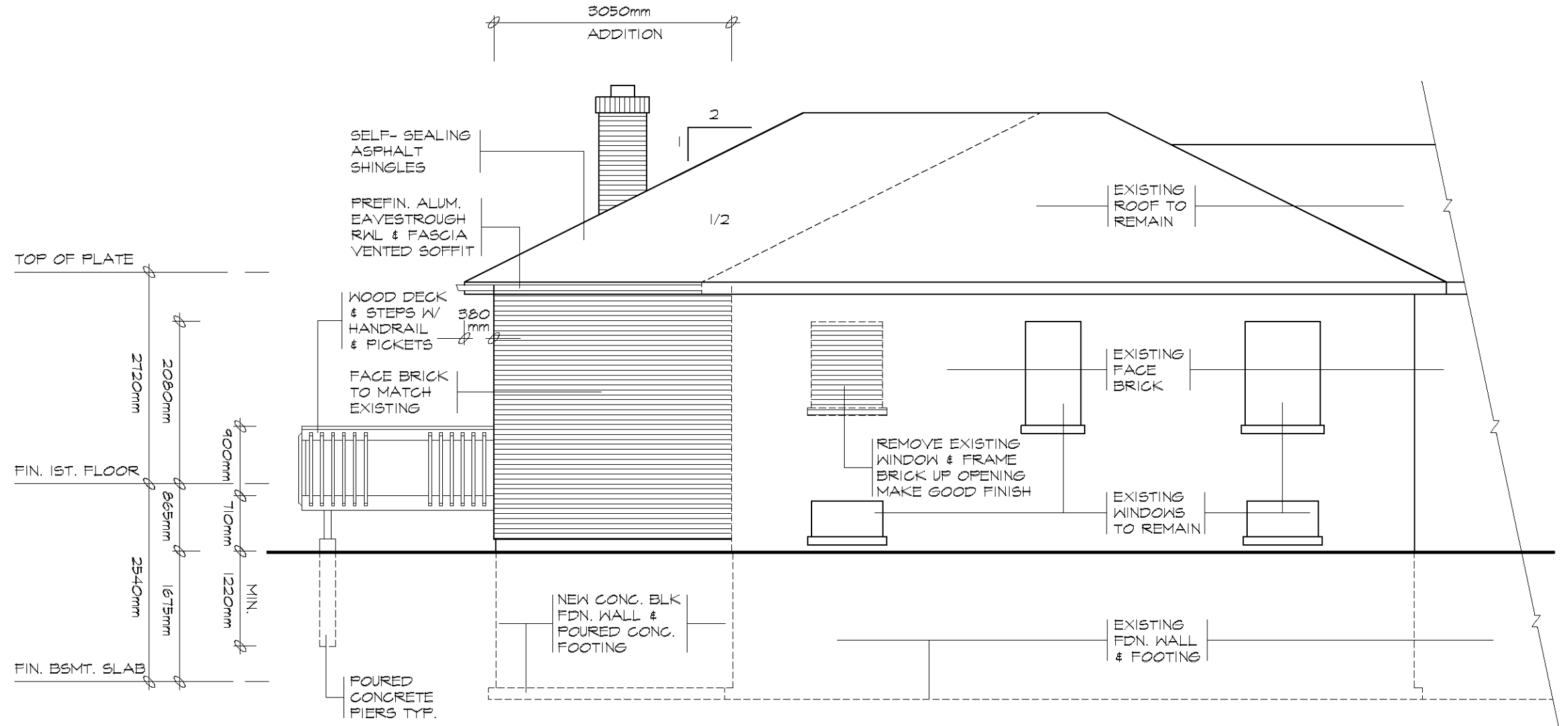


EAST ELEVATION

SCALE 1:50

UNPROTECTED OPENINGS

WALL AREA	42.36m ²
LIMITING DISTANCE	3050mm @ 18.00%
MAX. ALLOWABLE OPENINGS	7.62m ²
TOTAL OPENINGS PROVIDED	7.50m ²



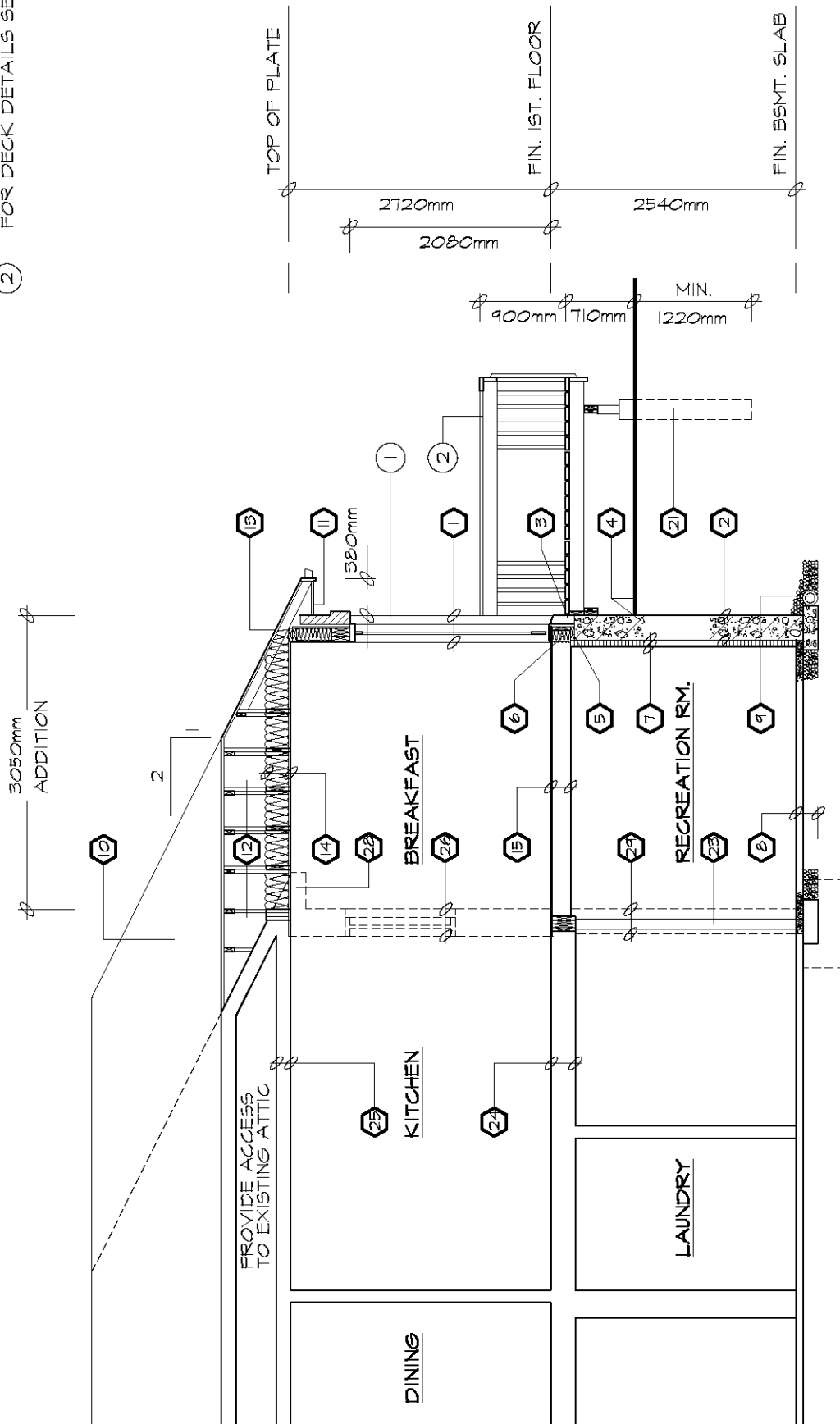
WEST ELEVATION

SCALE 1:50

UNPROTECTED OPENINGS

NO NEW OPENINGS
EXISTING TO REMAIN

- ① FOR WALL SECTION SEE A02
- ② FOR DECK DETAILS SEE D01a - D01d



SECTION A-A

SCALE 1:50

CONSTRUCTION SPECIFICATIONS

- 1 BRICK VENEER WALL**
 90mm FACE BRICK, 25mm AIR SPACE
 0.76mm THICK x 22mm WIDE
 GALVANIZED METAL TIES
 INSTALLED W/ GALVANIZED
 SPIRAL NAILS OR SCREWS
 400mm O.C. HORIZ., 600mm O.C. VERT.
 AIR BARRIER, LAYERS
 TO OVERLAP EACH OTHER
 EXTERIOR TYPE SHEATHING
 38x140 WOOD STUDS @ 400mm O.C.
 RSI 4.23 BATT INSUL. IN CONTINUOUS
 CONTACT W/ EXTERIOR SHEATHING
 CONTINUOUS AIR / VAPOUR BARRIER
 12.7mm INTERIOR DRYWALL FINISH
 DOUBLE PLATE @ TOP
 SOLE PLATE @ BOTTOM
- 2 FOUNDATION WALL**
 BITUMINOUS DAMPPROOFING ON
 MINIMUM 6mm PARING ON
 CONCRETE BLOCK FDN. WALL
 TOP BLOCK COURSE FILLED
 W/ MORTAR OR CONCRETE
 PROVIDE PARING COVERED OVER
 450mmx150mm POURED CONC. FOOTING
 TO BEAR ON UNDISTURBED SOIL
 PROVIDE DRAINAGE LAYER
 - MIN. 19mm MINERAL FIBRE
 INSULATION W/ A DENSITY OF
 NOT LESS THAN 57kg/m³ OR
 - MIN. 100mm OF FREE DRAINING
 GRANULAR MATERIAL OR
 - A B.M.E.C. APPROVED
 DRAINAGE LAYER MATERIAL
- 3 BRICK VENEER @ FDN. WALL**
 0.5mm POLY FLASHING MINIMUM
 150mm UP BEHIND SHEATHING PAPER
 WEEP HOLES @ MIN. 300mm APART
- 4 GRADE**
 SLOPE GRADE AWAY FROM
 BUILDING FACE & PROVIDE
 SEMI-SOLID BLOCK COURSE
 AT OR BELOW GRADE LEVEL
- 5 SILL PLATE**
 38x140 SILL PLATE FASTENED
 TO FOUNDATION WALL WITH
 MIN. 12.7mm DIA. ANCHOR BOLTS
 EMBEDDED MIN. 100mm IN CONCRETE
 @ 2400mm O.C. MAX. & PROVIDE A
 CONTINUOUS AIR BARRIER BETWEEN
 THE FOUNDATION WALL & WOOD
 FRAME CONSTRUCTION
- 6 FLOOR INSULATION**
 CONTINUOUS HEADER JOIST WITH
 RSI 5.46 BATT INSULATION, EXTEND
 VAPOUR / AIR BARRIER & SEAL
 TO JOIST AND SUBFLOOR
- 7 FOUNDATION INSULATION**
 12.7mm INTERIOR DRYWALL FINISH
 38x89 WOOD STRAPPING @ 400mm O.C.
 MIN. RSI 3.52 INSULATION W/ 0.15mm POLY
 VAPOUR BARRIER FULL HEIGHT.
 MOISTURE BARRIER TO HEIGHT OF
 EXTERIOR GRADE BETWEEN
 FOUNDATION WALL & WOOD FRAMING
- 8 BASEMENT SLAB**
 75mm POURED CONCRETE SLAB
 (25 MPa CONC. STRENGTH)
 100mm CRUSHED STONE BELOW
- 9 DRAINAGE**
 100mm DIA. WEEPING TILE W/
 150mm CRUSHED STONE COVER
- 10 ROOF CONSTRUCTION**
 20 YEAR ASPHALT SHINGLES W/
 EAVES PROTECTION ON MIN. 9.5mm
 EXTERIOR PLYWOOD SHEATHING
 ON APPROVED ROOF TRUSSES OR
 CONVENTIONAL FRAMING (SEE PLANS)
 USE 'H' CLIPS IF 600mm O.C. SPACING
- 11 OVERHANG CONSTRUCTION**
 PREFINISHED ALUMINUM FASCIA,
 EAVESTROUGH & RAIN WATER LEADERS
 TO MATCH EXISTING FINISHES. PROVIDE
 DRIP EDGE AT FASCIA & VENTED SOFFIT
 EXTEND DOWNSPOUTS TO GRADE LEVEL
- 12 ROOF VENTILATION**
 1:300 OF THE INSULATED CEILING
 AREA UNIFORMLY DISTRIBUTED.
- 13 EAVES PROTECTION**
 EAVES PROTECTION MEMBRANE TO
 EXTEND FROM THE EDGE OF THE
 ROOF, 900mm UP THE SLOPE BUT NOT
 LESS THAN 300mm BEYOND THE
 INTERIOR FACE OF THE EXTERIOR WALL
- 14 CEILING CONSTRUCTION**
 15.9mm INTERIOR DRYWALL FINISH
 CONTINUOUS AIR / VAPOUR BARRIER
 W/ MINIMUM RSI 0.81 BATT INSULATION
- 15 FLOOR CONSTRUCTION**
 15.5mm T&G PLYWOOD SUBFLOOR
 38x184 FLOOR JOISTS @ 400mm O.C.
 FLOOR JOISTS BRIDGED W/
 CONTINUOUS 19mmx64mm STRAPPING
 OR 2 ROWS OF 38mmx38mm CROSS
 BRIDGING OR SOLID BLOCKING
- 16 INTERIOR STUD PARTITION**
 12.7mm DRYWALL FINISH BOTH SIDES OF
 38x89 WOOD STUDS @ 400mm O/C
 2 TOP PLATES & 1 BOTTOM PLATE
 PROVIDE REINFORCEMENT FOR FUTURE
 GRAB BAR INSTALLATION IN BATHROOM
- 17 MECHANICAL VENTILATION**
 PROVIDE MIN. 5.0 L/S IN KITCHENS
 AND BATHROOMS, 37.5 L/S FOR
 PRINCIPAL EXHAUST FAN
- 18 STAIRS INTERIOR/EXTERIOR**

MAXIMUM RISE	=	200mm
MINIMUM RISE	=	125mm
MINIMUM RUN	=	210mm
MAXIMUM RUN	=	355mm
MINIMUM TREAD	=	235mm
MAXIMUM TREAD	=	355mm
MAXIMUM NOSING	=	25mm
MINIMUM WIDTH	=	860mm
MINIMUM HEADROOM	=	1950mm
- 19 GUARDS**

INTERIOR LANDINGS	=	900mm
EXTERIOR BALCONY	=	1070mm
INTERIOR STAIRS	=	900mm
EXTERIOR STAIRS	=	900mm
MAX. BETWEEN PICKETS	=	<100mm

GUARD HEIGHT IF
 DECK TO GRADE IS:
 GREATER THAN 1800mm = 1070mm
 1800mm OR LESS = 900mm
 NO MEMBER OR ATTACHMENT
 BETWEEN 140mm & 900mm HIGH
 SHALL FACILITATE CLIMBING
- 20 ATTIC ACCESS**
 PROVIDE ATTIC ACCESS
 MIN. 545mmx588mm W/ INSULATION
 & WEATHER STRIPPING
- 21 PIERS**
 PROVIDE 200mm DIA. SONO TUBE
 FOR POURED CONCRETE PIERS
 MINIMUM 1200mm BELOW GRADE
- 22** EXISTING SOLID MASONRY
 EXTERIOR WALL TO REMAIN.
- 23** 73mm DIA. PIPE COLUMN W/
 100mmx100mmx6.35mm
 TOP & BOTTOM PLATE
 1m x 1m x 450mm CONCRETE FOOTING
- 24** EXISTING FLOOR STRUCTURE
 TO REMAIN.
- 25** EXISTING CEILING STRUCTURE
 TO REMAIN.
- 26** REMOVE EXISTING EXTERIOR WALL
 AS SHOWN DOTTED
- 27** REMOVE EXISTING INTERIOR STUD
 PARTITIONS AS SHOWN DOTTED
- 28** REMOVE EXISTING ROOF OVERHANG
 AS SHOWN DOTTED
- 29** REMOVE EXISTING FOUNDATION WALL
 AS SHOWN DOTTED
- 30** REMOVE EXISTING WINDOW & FRAME
 MAKE GOOD OPENING W/ BRICK TO
 MATCH EXISTING ON THE EXTERIOR
- 31** INSTALL A CARBON MONOXIDE
 DETECTOR CONFORMING TO
 CAN/CGA-6.19 OR UL 2034

ROOM FINISH SCHEDULE

RM. NO.	ROOM NAME	FLOOR		BASE		WALLS		CEILING			REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
	FIRST FLOOR										
1	KITCHEN	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
2	BREAKFAST	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
3	BEDROOM	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
4	CLOSET	WOOD	STAIN	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	MAPLE TO MATCH EXISTING
5	BATH	CERAMIC TILE	-----	WOOD	PAINT	DRYWALL	PAINT	DRYWALL	PAINT	2720mm	
	BASEMENT										
6	REG. ROOM	CONC.	CERAMIC TILE	WOOD	PAINT	DRYWALL	PAINT			2340mm	

DOOR SCHEDULE

NO.	TYPE	SIZE	QTY.	REMARKS
1	EXTERIOR	1525mmx 2030mm	1.	FRENCH DOOR
2	SLAB	760mmx 2030mm	1.	800 SERIES
3	SLAB	610mmx 2030mm	1.	800 SERIES
4	POCKET DOOR	610mmx 2030mm	2.	

LINTEL SCHEDULE

NO.	DESCRIPTION
L1	2-38x184 SPRUCE
L2	3-38x184 SPRUCE
L3	2-38x235 SPRUCE
L4	3-38x235 SPRUCE
L5	2-38x286 SPRUCE
L6	3-38x286 SPRUCE
L7	90mmx 90mm 6mm L
L8	90mmx 90mm 8mm L
L9	100mmx 90mm 6mm L

LEGEND

- DUPLEX OUTLET (WEATHERPROOF)
- DUPLEX OUTLET (HGT. ABOVE FLR.)
- DUPLEX OUTLET (300mm ABOVE FLR.)
- EXHAUST FAN
- SWITCH
- HOSE BIB
- SMOKE DETECTOR
- HEAVY DUTY OUTLET
- LIGHT FIXTURE (WALL MOUNTED)
- LIGHT FIXTURE (CEILING MOUNTED)
- POT LIGHT FIXTURE
- LIGHT FIXTURE (WATER RESISTANT)
- LIGHT FIXTURE (CAPPED)
- FLUORESCENT LIGHT FIXTURE
- SOLID WOOD BEARING
- FLOOR DRAIN
- TV CABLE OUTLET
- TELEPHONE OUTLET
- COMPUTER OUTLET
- DRYER EXHAUST

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/ A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR

NO.	TYPE	SIZE	QTY.	REMARKS
1	CASEMENT	1525mmx 1525mm	1.	MAXIMUM U-VALUE 1.8
2	CASEMENT	610mmx 1525mm	2.	MAXIMUM U-VALUE 1.8
3	SLIDER	915mmx 450mm	2.	MAXIMUM U-VALUE 1.8