

REPORT TO: B. Longfield, Chair and Members of the Heritage Advisory Committee

RE: Application for Designation HR-08-1, Udell House (1888), 224 Main Street East

DATE: April 22, 2008

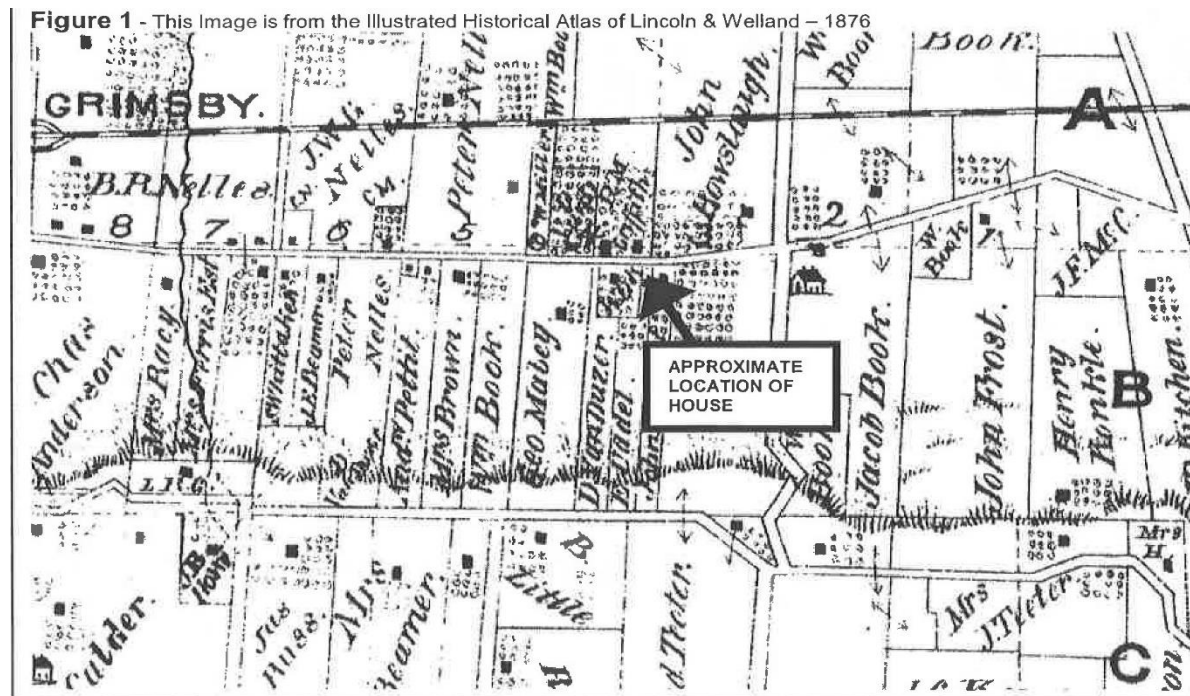
1.0 RECOMMENDED RESOLUTION

Resolved, that Report P.A. 08-13 regarding application for designation under Part IV of the Ontario Heritage Act, Udell House (1888), 224 Main Street East, be received.

2.0 HISTORY

The following is information about the Udell House that was provided by the owners.

Eugene and Catharine Udell built the house in 1888. Eugene was the son of Morris and Harriet Udell who, as United Empire Loyalists immigrated to Canada from the United States in the early 1800's. Eugene built this house for his son George and his new wife Annie. They lived in the house and ran a successful nursery stock and fruit farming operation as well as raising horses and cattle. Although the farmland was sold off in 1945, the house remained in the Udell family until 1979.



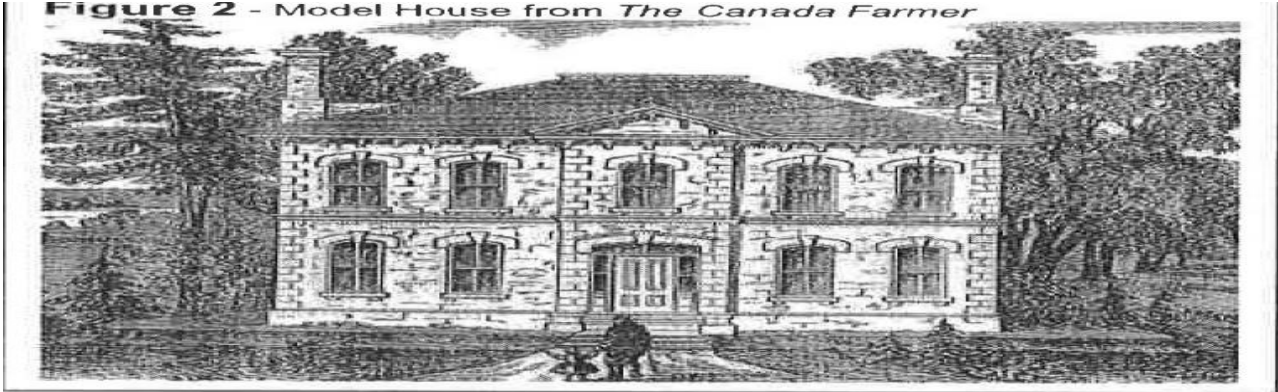
J.0 ARCHITECTURE

3.1 Historical Context

The following history of the Italianate style of architecture was obtained from OntarioArchitecture.com and *Ontario Architecture - A guide to Styles and Building Forms*, John Blumenson (1990).

The Italianate style is characterized by the application of stylized Classical elements in regularized patterns. In Ontario, Italianate designs can be found on almost any 19th century main street.

Figure 2 - Model House from *The Canada Farmer*



Unique to Ontario is a design for a two storey square residence with projecting eaves and ornate cornice brackets promoted by *The Canadian Farmer* journal in 1865. This residence provided a classical alternative to the Gothic Cottage. People wanted a large house with many bedrooms that had some interesting detailing. A two storey rectangular building with a mild hip roof, a projecting front is piece and generous eaves with ornate cornice brackets, was the basis of the style. Classical elements are used, **but** in a secondary role. There was no pattern book for details or any main architect promoting the style; this was simply a fashion that took hold.



Often added to this model was an eclectic combination of some rural Gothic features such as verge boards or lancet windows, a variety of Classical details and wall finishes executed in a typically stylized or exaggerated mode of the style. The Ontario version was a compromise. It satisfied the desire to be modern or up-to-date with Italianate features, but not to a lavish extent. The subject building, 224 Main Street East is a typical example of this style of architecture. Several examples of this style can be found in Grimsby primarily along Main Street East and West.

3.2 General

The house consists of two main sections being the north (front) portion, which is generally a box shape with a hip roof, and the south wing, which has a gable roof. The aerial photograph illustrates the general shape of the house. The hip roof has a flatpeak.

Figure 4 - Aerial Photo of Roof Structure



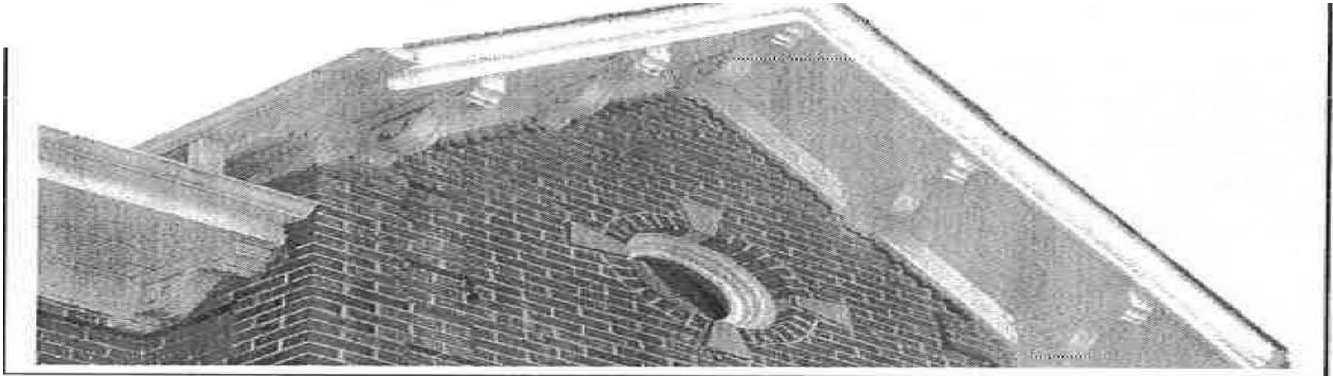
There are several projections from these basic shapes. On the front facade are a gable-topped frontispiece and a front porch. On the east facade are a one-storey bay window and a porch with sunroom above. The roof of the main structure is pierced by two chimneys centrally located on the east and west sides. The east side of the south wing has a one-storey porch and shed dormer while the west side has a secondary gable. The photo to the right illustrates many of these features.

Figure 6 - Stone Foundation



The owners indicate that the house is of double brick construction with a granite stone foundation. The photo to the right details the brickwork and the foundation at the northwest corner of the house. The owners indicate that the stone may have been quarried in Grimsby above Gibson Street. The color is similar to many stone structures in Grimsby.

3.3 Decorative Features



The facades that are visible from the street (front and sides) have been dressed with ornamental features while the rear of the building is much plainer. Some examples of the decorations include the scroll brackets under the eaves. This element is a distinctive feature of Italianate design. The photo to the right is a close-up of brackets. The brackets were not used on the south side of the house or on the south wing.

Figure 8 - Typical Front Window

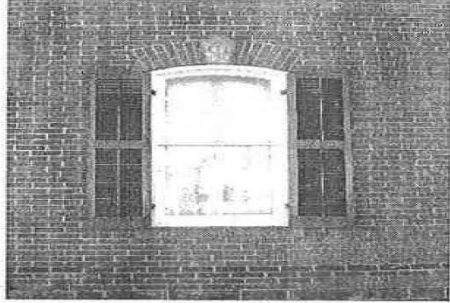


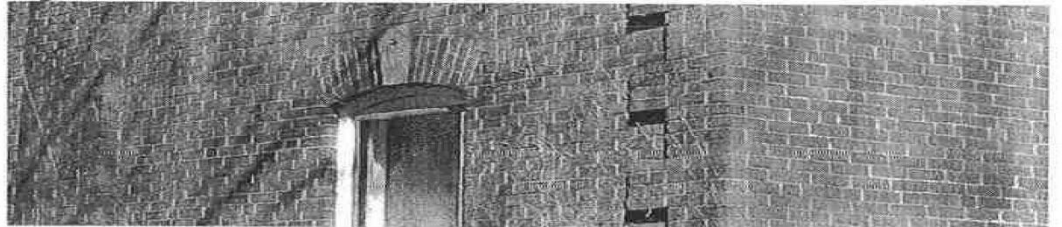
Figure 9 - Window Arch



Other ornamental features typical to the front and side facades include the windows. The round window atop frontispiece (figure 7) is unique to the front facade and the remaining windows are capped with a segmental brick arch with a decorative keystone. The South facade and wing do not possess these features. The window is detailed to the left and the arch is below.

Figure 10 illustrates the west side of the house and the south side of the house. This illustrates how the brickwork was laid with corner quoins on the front and sides but not the rear facade of the house.

Figure 10 - Quoins

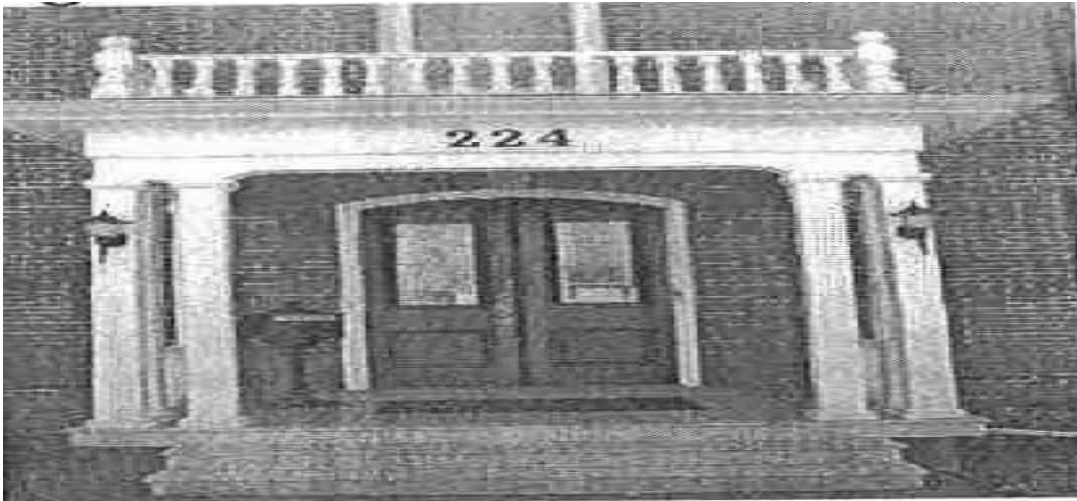


The bay window at the north east corner of the house (Figure 11) is ornately decorated with brackets windows and capped with a false railing.

Figure 11 – Bay Window



Figure 12 – Bay window



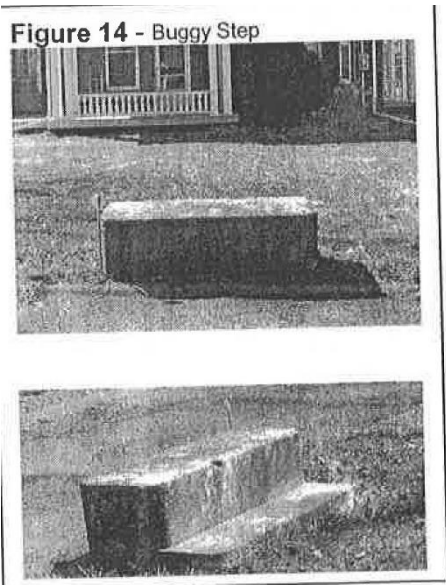
The owners suspect that all of the porches have been replaced at some point in the past, possibly in the 1940's when the Shafer Brothers did extensive renovations. The owner replaced the existing railings with ones he turned himself using a pattern from original railings found at the rear porch. Figure 12 is the front porch, which illustrates the details of the typical style of porch pillars, balusters, etc. The front doors have etched glass panes, which can be seen in the photo. Also, window shutters can only be found on the front and east side windows.



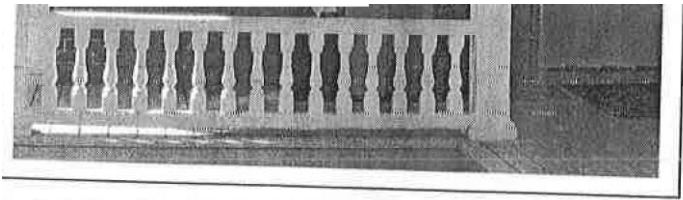
Figure 13 West Side kitchen wing - illustrates the south side of the main house and the west side of the kitchen wing illustrating the difference in ornamentation.

3.4 Other Unique Features (provided by owners)

Except for the replacement of porches and railings, the house looks much the same as it did when it was built with original wood eaves and brackets, windows and doors, and stone foundation. The cut limestone carriage step (Figure 14) still sits on the side lawn and was used for getting in and out of a horse drawn buggy.



The kitchen porch railing is original and was used as a pattern for the replacement of all the spindled railings around the house.



The barn board icehouse is historically significant as one of the few icehouses



remaining in Ontario of that era. There is also a small garage circa 1920's that still has the original boards in the floor.

The magnificent trees also deserve attention. The three remaining large trees on the property are 120 years old. The Horse Chestnut at the road, the Maple and the Copper Beech trees were planted when the house was built. Several very old cherry trees remain from the original farm but are in poor condition due to their age. There is nearly 3/4 of an acre of the wonderful sandy loam soil left of the original farmstead.



Many of the interior pine doors, mouldings and trim are original to the house. The formal rooms were expertly painted to look strikingly like the very expensive woods that would have been used in city mansions such as English Brown Oak and Black Walnut.

All of the original pine floors remain, although most had been covered over with red oak during the 1940's duplex renovation for George and Annie's daughters. The renovations were done by the Shafer Brothers, well known builders of the time. The sunroom is a wonderful example of 1940's Arts & Crafts style construction.

The upstairs fireplace with its elegant white marble mantle is a beautiful detail.

This wonderful house is a connection to and a reminder of the life and times of early Grimsby and the Udell family who make a worthwhile contribution to the community. In their honour a street in the new development behind the homestead has been named Udell Way.

3.4 Elevations

Figure 18 shows the east side of the building with some of the Shafer additions including the porch pillars, the second storey sunroom and the shed dormer on the second floor of the kitchen wing.



The Shafer Brothers may have also installed the windows on the second shown here in Figure 19.

Figure 19 - South Side



This photo also shows the entrance into the basement at the southeast corner of the house.

Figure 20 shows the west side elevation. The top of the west side chimney had to be removed.

Figure 20 - West Side

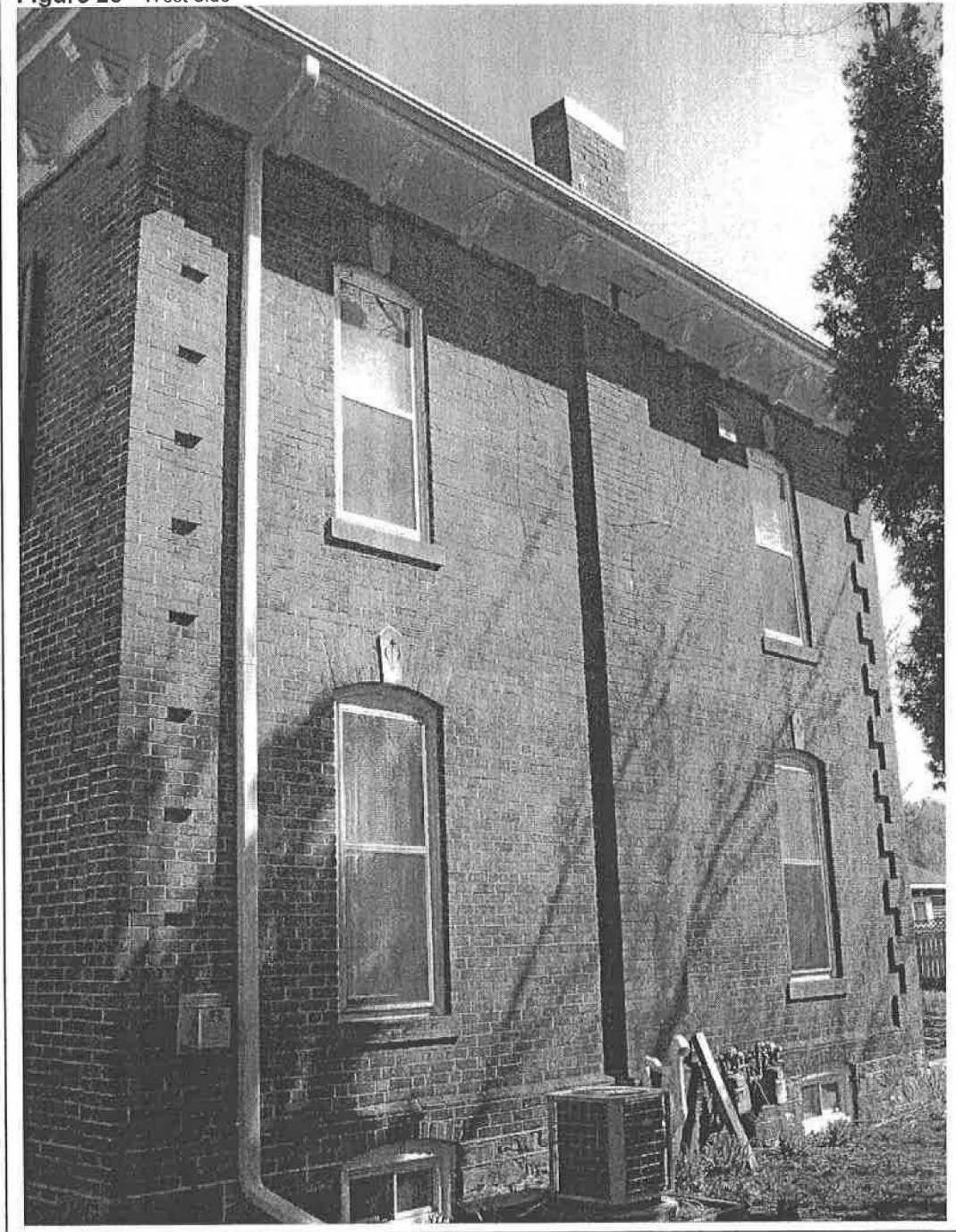
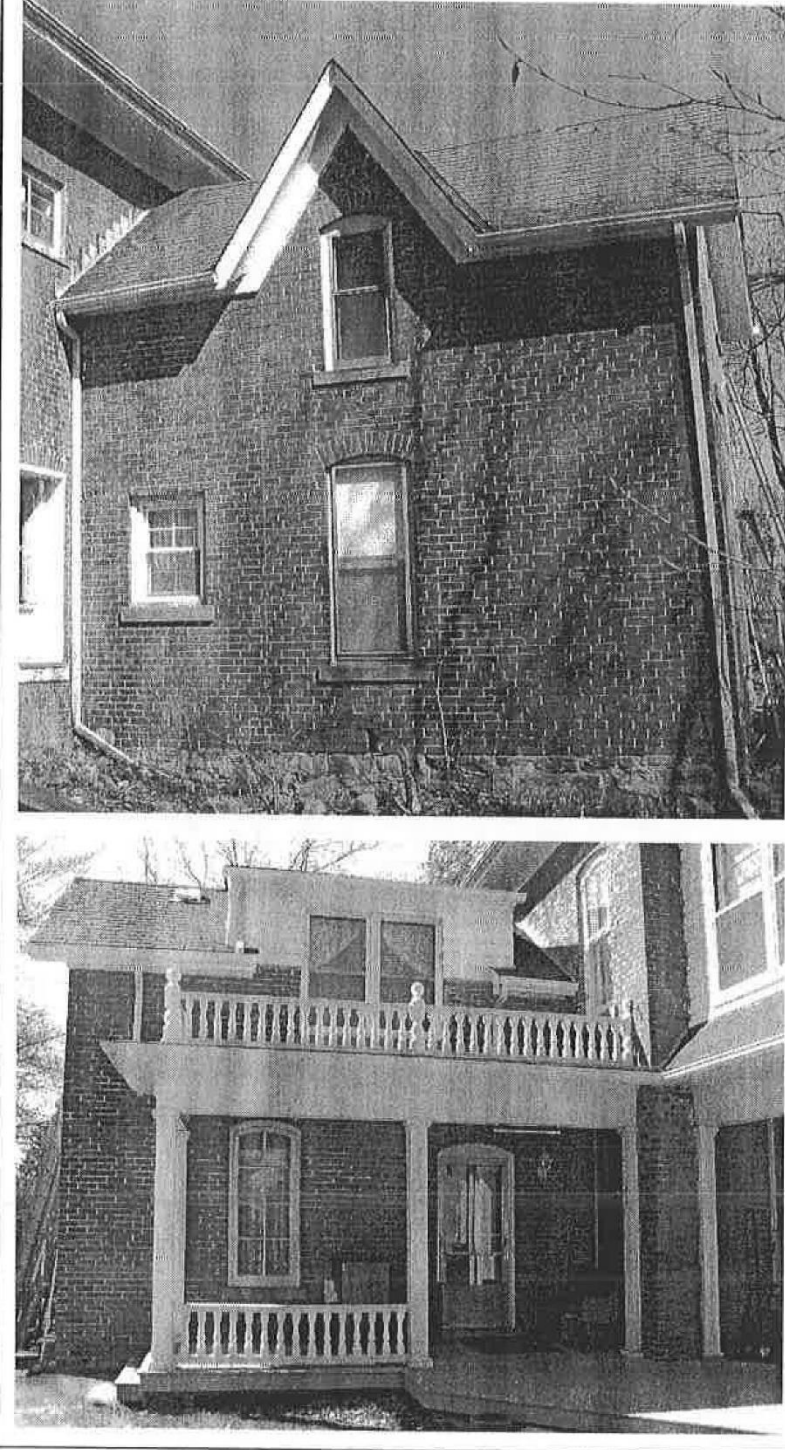


Figure 21 shows the west and east sides of the kitchen wing.

Figure 21 - Kitchen Wing



3.5 Other Details

Other noteworthy details include the cut stone sills at the doors and windows (Figure 22) and the brick water table (Figure 23)

Figure 22

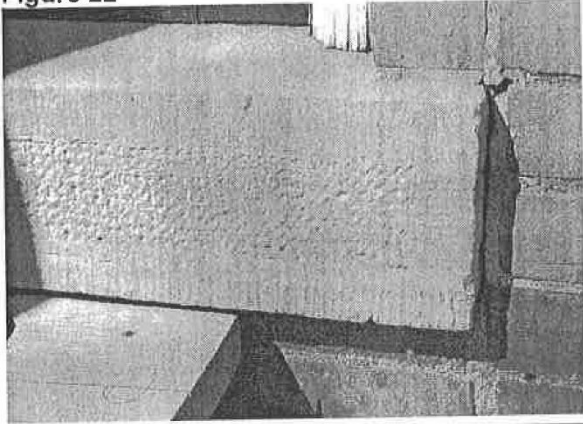
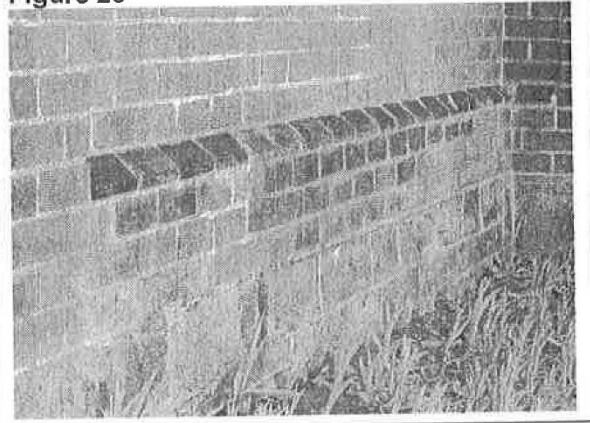


Figure 23



4.0 SUMMARY

This report detailed some of the historical and architectural details of 224 Main Street East in order to assist the Committee in determining whether or not to recommend to Council a designation under Part IV of the Ontario Heritage Act. Attached, as Appendix 'A', is the scoring system that is used by the Committee for reference.

Submitted by:

Walter Basic, Planner

APPENDIX 'A'

GRIMSBY HERITAGE ADVISORY COMMITTEE

EXPLANATORY NOTES
EVALUATION SYSTEM-SCORING GUIDELINES
SCORE SHEET

Revised
November 2006

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- 1 -

INTRODUCTION

This system was designed to evaluate buildings in the Town of Grimsby. Different criteria to evaluate natural sites, cemeteries and bridges would be appropriate as this system is tailored to building form,

Use this package in conjunction with the archival and historical reports. The manual for Municipal Heritage Advisory Committees is a valuable reference tool when you visit and view the considered property.

An evaluation system will ease the assessment of a property we are considering for designation or inclusion on our "endangered property" list. A sympathetic approach makes evaluation much faster and efficient.

Consistent evaluation means that each property will be assessed in a fair and equitable manner. By scoring properties, we can easily explain to property owners, Council and the Planning and Development Committee why a property was accepted or denied designation.

This evaluation system will comply with The Corporation of the Town of Grimsby By-law no. 91-117. Point 5(a) states, "The Committee shall establish criteria for the evaluation of properties of architectural and/or historic value or interest".

The Ontario Heritage Policy Review recognized the need for new heritage legislation. Heritage conservation will evolve to encompass more than the current emphasis on architecture, history and artefacts. Intangible heritage-our customs, traditions, and values will become increasingly important.

The Grimsby Heritage Advisory Committee must monitor and adjust their evaluation system to comply with new legislation and changing times. Committee members should review this system at regular intervals and make changes as needed.

-2-

EXPLANATORY NOTE

ARCHITECTURE

These criteria measure the building's value in terms of design and execution. Consider the present condition (integrity) of the building when applying these standards. Remember that inappropriate modifications or a deteriorated condition could weaken the architectural value of the building. Committee members must make these judgements.

Design

What is the visual quality of the building (proportion, scale, detail) in the context of an architectural style or type?

- Measure the architectural merit of the building, taking into account historical styles and/or building types.
- May deserve high marks if its design is successful and visually attractive, whatever its style or type.
- Evaluators should remain objective and avoid letting their personal stylistic preferences influence decisions.
- Integrity of the building may lower score since severe alterations may weaken visual qualities.

Style

How does this building compare to other examples of a particular style in the community?

- The property is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- Deserves high marks if the building is a splendid example of a particular architectural style.
- Consider whether the building is a splendid example of a particular style in context of the community.

Is the building comparatively old in the context of the Town?

- A different scale of building age must be established for each city or town in the Region.
- May use beginning of construction as building date.

- Adjust watershed dates every decade to reflect passing of time.

-3-

HISTORY

These criteria examine the associative value of the building.

Person/Event

What is the level of importance with a directly related theme, event, belief, person, activity, organization or institution that is significant to a community?

- Evaluate the building with respect to direct association with a theme, event, belief, person, activity, organization or institution.
- "Directly associated" means ownership or occupancy in the case of a person or a specific event took place in the building.
- This does not refer to general associations. For example, public buildings like post offices, though frequented by many, will seldom merit points under this section.
- Wealth and national recognition are not the only standards to determine "importance". The related person or event may have significance on a smaller scale. For example, the first local blacksmith, the earliest general store or the childhood home of a famous person.

Local Development

How well does this building illustrate a significant phase in the development of the community or a major change or turning point in the community's history?

- The property is important in defining, maintaining or supporting the character of an area.
- Does the building measure a significant phase in the community's development or historical evolution? This may include cultural, social, religious, agricultural or military activities.
- "Community" means examples such as a ward of the Town, an entire park or the intra-muros space of an institution.
- Consider the building's influence over time and in a historical perspective. Do not confuse with the present situation as this is measured under "Setting"

-4-

ENVIRONMENT

These criteria measure the present day role of the building in the community's streetscape.

Site

What is the integrity of the historical relationship between the building and its associated landscape?

- The property is physically, functionally, visually or historically linked to its surroundings.
- "Associated landscape" is normally contained within the property lines and over which the owner has control.
- Measure the degree to which the immediate environment enhances and strengthens the building.
- For some urban buildings, it may be limited to the interface between the building and the adjacent sidewalk or public space.
- Consider the original or historic treatment in relation to the nature of what exists today. For example, a building that was originally built for residential use is now used for commercial purposes.

Landmark

What is the nature of the building's identity within the community?

- Evaluate the importance of a building to the community.
- Is it a physical landmark (e.g. prominent church spire)?
- What is the symbolic value of a building to the community as a whole?

-5-

INTEGRITYWorkmanship & Material

What is the quality of workmanship and the handling of materials?

- Demonstrates a high degree of craftsmanship or artistic merit
- Consider both the choice and handling of the materials.
- Knowledge of the historical context may shed light on the quality of craftsmanship and materials.
- Evaluate the actual execution of the design with a focus on quality.
- Demonstrates a high degree of technical or scientific achievement
- Current physical condition of building may reveal strengths and weaknesses of workmanship and materials over time.
- Good quality should be evident in spite of reversible changes.
- May apply this criteria to entire building or a part of it.

Alterations

Has the buildings been altered? If so, how much of the building's original character is left?

- Determine the extent of alterations.
- Decide whether alterations are reversible. For example, if a porch is removed, can the underlying brickwork be restored?
- Consider whether the alterations are sympathetic and an actual improvement over the original. Alterations may include upgrades or modernizations such as indoor plumbing.
- Alterations may have their own significance. The addition of a wing could reflect the owner's prosperity or family's growth.

BONUS

Is the building unique or outstanding in some way that is not reflected in any of the other categories?

- Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who made a significant architectural contribution either locally or nationally.
- Consider the current use of the building. Although it is desirable to maintain the building in its original capacity, an innovative use of space is preferable to demolition.
- Evaluate the building's influence on its streetscape or surroundings. Does it have a significant impact on the present character of the area with which it is associated?

Building Evaluation Sheet

Name Udell House 1888
Location 224 Main Street East

Reference Number

Criteria		Evaluation(0-10)
A Architecture		
1 Style		4
2 Construction		
3 Age		4 - Built between 1868-1914
4 Architect / Builder		
5 Design	Italianate	7 – Very Good
6 Interior		
B History		
7 Person		7 – Person or group of primary importance loosely connected or person of secondary importance intimately connected with the building.
8 Event		7 – Event of primary importance loosely connected or event of secondary importance intimately connected with the building.
9 Local Development		4 Reasonable example
C Environment		
10 Continuity		
11 Site		10 – On original site or property
12 Landmark		4
D Usability		
13 Compatibility		
14 Adaptability		
15 Public		
16 Services		
17 Cost		
E Integrity		
18 Workmanship & material		7
19 Alterations		4
20 Condition		
BONUS (1 – 5)	Key stones carved, Stepping stone ice house	3
TOTAL 50+ Designate 49-40 – Recognition		Total = 64

Criteria		Evaluation(0-10)
A Architecture		
Under 40 -Deny		

<u>EVALUATION SYSTEM- SCORING GUIDELINES</u>	
CRITERIA	SCORE
ARCHITECTURE	
<u>Design</u> A particularly attractive or unique building based on artistic merit, design and uniqueness, composition and craftsmanship or details.	10 Excellent 7 Very Good 4 Good 0 Fair or Poor
<u>Style</u> Notable, rare, unique, early or typical example of an early style, type, expression, materials or construction method.	10 - Perfect or extremely early example if many survive; excellent example if few survive. 7 - Excellent or very early example if many survive; good example if few survive 4 - good example if few survive 0 - Of no particular interest.
Age Comparatively Old in the context of the community	10 – Built before 1840 7 – Built between 1841 - 1867 4 - Built between 1868 -1914 0 -
HISTORY	
<u>Person</u> Associated with a theme, belief, person group, organization or institution that has made a significant contribution to the community, province or country.	10 – Person or group of primary importance intimately connected with building... 7 – Person or group of primary importance loosely connected or person of secondary importance intimately connected with the building. 4 – Person or group of secondary importance loosely connected with the building. 0 –Building has no connection with a person or group of importance.

<u>EVALUATION SYSTEM- SCORING GUIDELINES</u>	
CRITERIA	SCORE
<p><u>Event</u></p> <p>Associated with an event or activity that has made significant contribution to the community.</p>	<p>10 – Event of primary importance intimately connected with the building</p> <p>7 – Event of primary importance loosely connected or event of secondary importance intimately connected with the building.</p> <p>4 – Event of secondary importance</p> <p>0 – Building has no connection with an event of importance.</p>
<p><u>Local Development</u></p> <p>Building illustrates a significant phase in the development of the community or a major change or turning point in the community’s history</p>	<p>10 – One of the best</p> <p>7 – Very Good example</p> <p>4-Reasonable Example</p> <p>0-Obscure example</p>
ENVIRONMENT	
<p><u>Site</u></p> <p>Occupies original site and property, and is physically, functionally, visually or historically linked to its surroundings</p>	<p>10-On original site and property</p> <p>7-Moved to different site on original lot altered but little change in relationship between building and property.</p> <p>4- Moved off original site but to a sympathetic location or original lot altered and relationship between building and property greatly changed.</p> <p>0-Not particularly conspicuous or familiar.</p>
<p><u>Landmark</u></p> <p><u>A particularly important visual landmark</u></p>	<p>10- Building may be taken as a symbol for the Town or Region as a whole</p> <p>7 – A conspicuous and familiar building in the context of the Town or Region</p> <p>4- A conspicuous and familiar building in the context of the neighborhood.</p> <p>0-Not particularly conspicuous or familiar</p>
INTEGRITY	
<p><u>Workmanship & Material</u></p> <p>Quality of workmanship and handling of materials</p>	<p>10- Excellent</p> <p>7 - Very Good</p> <p>4 - Good</p> <p>0 - Fair or Poor</p>

<u>EVALUATION SYSTEM- SCORING GUIDELINES</u>	
CRITERIA	SCORE
<p><u>Alterations</u></p> <p>Has suffered a little alterations and retains most of its material and design features.</p>	<p>10-Unchanged 7-Few changes but sympathetic to original building 4-Many changes but sympathetic to original building 0-Many unsympathetic changes. Original character destroyed.</p>
<p>BONUS</p> <p>Some aspect of the building or its history makes it unique.</p>	<p>5-Exceptionally unique features 3-Particularly unique features 1-Unique features 0-Nothing unique</p>

